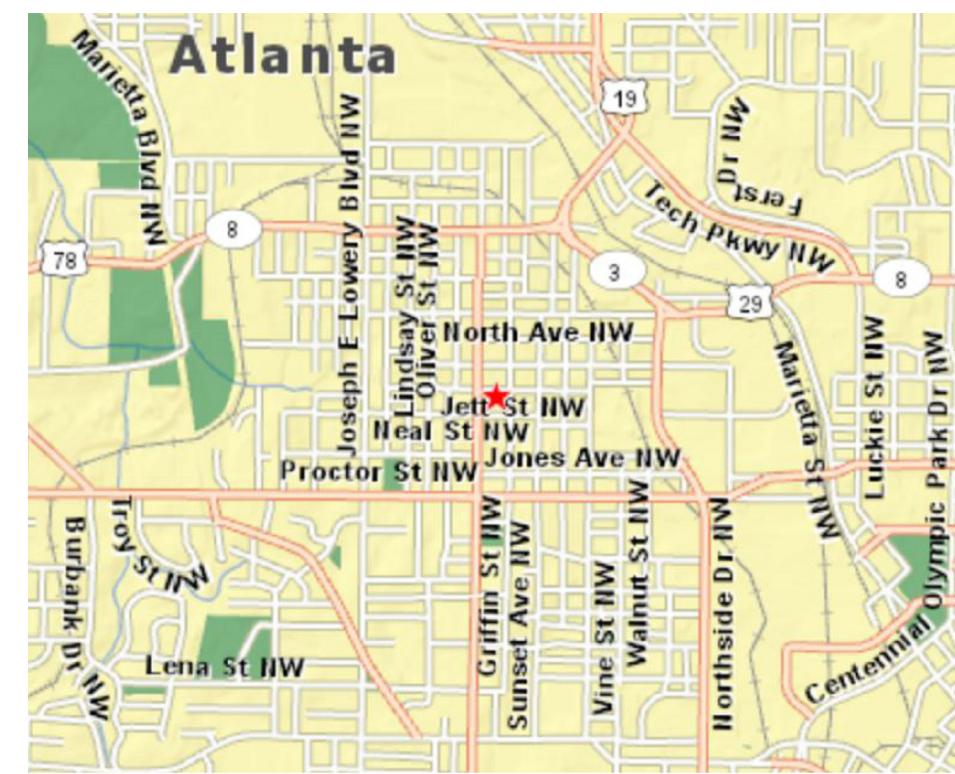




# THE 746 JETT STREET RESIDENCES

746 JETT STREET, ATLANTA GA 30318



### DRAWING INDEX

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### PROJECT SUMMARY

NEW TWO STORY & ONE STORY SINGLE FAMILY HOUSE WITH FRONT & REAR PORCHES

HEATED SQUARE FOOTAGE FOR MAIN UNIT	
FIRST FLOOR	800 SQFT
SECOND FLOOR	960 SQFT
<b>TOTAL</b>	<b>1760 SQFT</b>

HEATED SQUARE FOOTAGE FOR ADU	
FIRST FLOOR	512 SQFT
<b>TOTAL HEATED</b>	<b>512 SQFT</b>

NON-HEATED SQUARE FOOTAGE FOR EACH BUILDING	
MAIN UNIT PORCHES	368 SQFT
<b>TOTAL UNHEATED</b>	<b>368 SQFT</b>

STORIES	2
HEIGHT ACTUAL	27'-6-1/4"
HEIGHT ALLOWABLE	35'-0"
COVERAGE ACTUAL	0.53
COVERAGE ALLOWABLE	0.70
MIN REQ'D FENESTRATION	15%
JETT ST FENESTRATION	17%
FLOOD HAZARD	NO
TYPE DEAD LOADS:	10 PSF
TYPE LIVE LOADS:	40 PSF
TYPE ROOF LOADS:	20 PSF

### PROJECT DESCRIPTION

TITLE	THE 746 JETT STREET RESIDENCES
LOCATION	746 JETT STREET ATLANTA, GA 30318
OWNER	WESTSIDE ACQUISITIONS I, LLC CONTACT: LEE HARROP 404.793.2670, LEE@WESTSIDEFUTUREFUND.ORG
ARCHITECT	FLOURISHING COMMUNITIES COLLABORATIVE CONTACT: JULIE JU-YOUN KIM AIA 301.633.5920, JULIE.KIM@DESIGN.GATECH.EDU
CONTRACTOR	OAKSATL CONTACT: MATT MAXWELL 404.964.5684, MATT.MAXWELL@OAKSATL.COM

### GENERAL NOTES

- 1 IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO FIELD CHECK ALL DIMENSIONS AND CONDITIONS PRIOR TO AND DURING CONSTRUCTION
- 2 THE GENERAL CONTRACTOR SHALL COMPLY WITH AND GIVE NOTICES REQUIRED BY LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON PERFORMANCE OF THE WORK
- 3 THE GENERAL CONTRACTOR SHALL AWARD SUBCONTRACTORS TO ENTITIES DULY LICENSED IN THE STATE OF GEORGIA FOR THE WORK TO BE PERFORMED ON THIS PROJECT
- 4 THE GENERAL CONTRACTOR SHALL SECURE AND PAY FOR THE BUILDING PERMIT AND OTHER PERMITS AND GOVERNMENTAL FEES, LICENSES AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THIS WORK UNLESS OTHERWISE SPECIFIED BY THE OWNER
- 5 THE USE OF THE SITE SHALL BE CONFINED TO THOSE AREAS APPROVED BY THE OWNER AND BUILDING INSPECTOR, IN ORDER TO MINIMIZE PUBLIC EXPOSURE TO UNSAFE CONDITIONS
- 6 SHOULD ANY PORTION OF THESE DOCUMENTS BE AT VARIANCE WITH REQUIRED BUILDING CODES, ORDINANCES, OR OTHER PROVISIONS (NFPA, ADA, ETC.) THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ARCHITECT FOR CONSTRUCTION CHANGE DIRECTIVES
- 7 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PERMITTING, AND IMPLEMENTATION OF ALL ELECTRICAL, MECHANICAL, AND PLUMBING SERVICES FOR THIS PROJECT. THE GENERAL CONTRACTOR SHALL COORDINATE ALL EXISTING AND NEW SERVICES WITH THE OWNER
- 8 The general contractor shall abide by the following International Building Codes  
International Building Code, 2018 Edition, with Georgia Amendments (2020), (2022)  
International Residential Code, 2018 Edition, with Georgia Amendments (2020)  
International Fire Code, 2018 Edition (Contact State Fire Marshal Below)  
International Plumbing Code, 2018 Edition, with Georgia Amendments (2020), (2022)  
International Mechanical Code, 2018 Edition, with Georgia Amendments (2020)  
International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020), (2022)  
National Electrical Code, 2020 Edition, with Georgia Amendments (2021)  
International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020), (2022)  
International Swimming Pool and Spa Code, 2018 Edition, with Georgia Amendments (2020)  
NFPA 101 Life Safety Code 2018 Edition, with State Amendments (2020) - (Effective January 1, 2020)

### SYMBOLS LEGEND

- LEVEL MARKER  
Level Name  
Elevation
- SPOT ELEVATION
- DETAIL PLAN CALLOUT
- ELEVATION MARKER  
A3-1  
2

ISSUANCE SCHEDULE	
07/13/2022	PERMIT DOCS

### REVISION SCHEDULE

MARK	DATE	DESCRIPTION
1	09/27/2022	REVISED PERMIT DOCS V2
2	03/05/2023	REVISED STRUCTURAL DETAILS

PROJECT ID 001

SHEET TITLE

Cover Sheet

SHEET NUMBER

CITY OF ATLANTA, WATERSHED MANAGEMENT:

A SEPARATE, QUALIFIED CONTRACTOR PERMIT IS REQUIRED FOR WORK IN THE PUBLIC RIGHT-OF-WAY. ALL WORK IN THE RIGHT OF WAY MUST BE TO CITY OF ATLANTA STANDARDS.

BEFORE STARTING ANY LAND-DISTURBING ACTIVITIES, THE CONTRACTOR IS REQUIRED TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH EROSION & SEDIMENT CONTROL. CALL (404) 546-1305. FAILURE TO SCHEDULE MAY RESULT IN A STOP WORK ORDER OR PERMIT REVOCATION.

IF YOU DIG GEORGIA, CALL UTILITIES PROTECTION CENTER 811, 1-800-282-7411 FIRST, IT'S THE LAW.

SECTION V - EROSION CONTROL CITY OF ATLANTA

1. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
2. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
3. DISTURBED AREAS LEFT IDLE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION AND MULCH; DISTURBED AREAS REMAINING IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY.
5. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION.
6. SILT FENCE SHALL BE "TYPE S: AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA AND BE WIRE REINFORCED (SEE ATTACHED DETAIL).

ROOT PROTECTION NOTES

1. MINIMAL USE OF MACHINERY AROUND ROOT ZONE TO BE PRACTICED HAND PRUNE ANY ROOTS ENCOUNTERED DURING FOUNDATION EXCAVATION
2. PRUNING TO TREES MUST CONFORM TO ANSI A300 STANDARDS
3. NO REMOVAL OF MORE THAN 20% OF LIVE CROWN
4. NO CUTS TO CREATE A LOP-SIDED CONDITION
5. PROVIDE 18" MULCH BED AROUND STRUCTURAL ROOT PLATE
6. PROVIDE 1/2" PLYWOOD SHEETS ON GRADE TO CREATE PATHWAY FOR MEN AND MATERIAL TRANSPORT
7. NO FOOTINGS IN THE STRUCTURAL ROOT PLATE

NEW TREES PLANTED: (IF APPLICABLE)

1. ALL TRESS WILL BE 2.5 CALIPERS
2. EACH UNDERSTORY TREE IS PLACED AT LEAST 15 FEET ON CENTER AWAY FROM ALL EXISTING AND PLANNED UNDERSTORY TREES
3. EACH MIDSTORY TREE IS PLACED AT LEAST 25 FEET ON CENTER AWAY FROM ALL EXISTING AND PLANNED MIDSTORY TREES
4. EACH OVERSTORY TREE IS PLACED AT LEAST 35 FEET ON CENTER AWAY FROM ALL EXISTING AND PLANNED OVERSTORY TREES

SOIL PROTECTION & PREPARATION FOR GREEN INFRASTRUCTURE / STORMWATER MANAGEMENT SYSTEM INSTALLATION

1. DURING EXCAVATION, HEAVY MACHINERY SHALL NOT DRIVE OVER EXPOSED UNDERLYING SOILS
2. USE TRACKED OR LOW GROUND PRESSURE VEHICLES
3. EXCAVATE FINAL 9"-12" WITH TEETH OF BUCKET (DO NOT SMEAR)
4. SUBSOILS SHALL BE SCARIFIED (NOT COMPACTED) PRIOR TO PLACEMENT OF SLEAN WASHED DRAINAGE STONE

CONSTRUCTION STEPS:

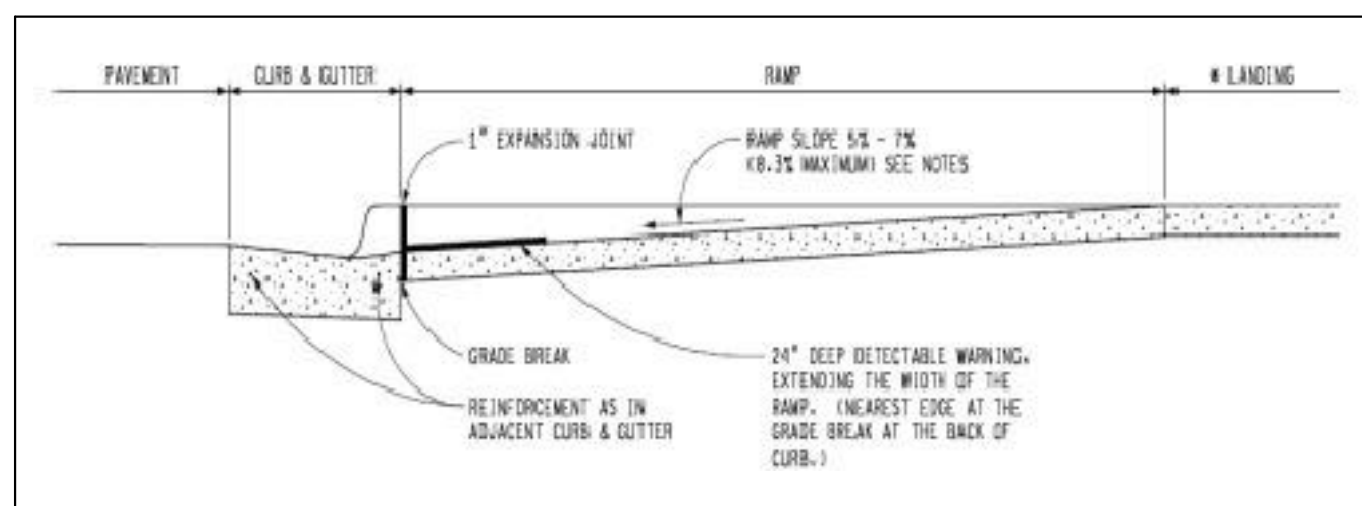
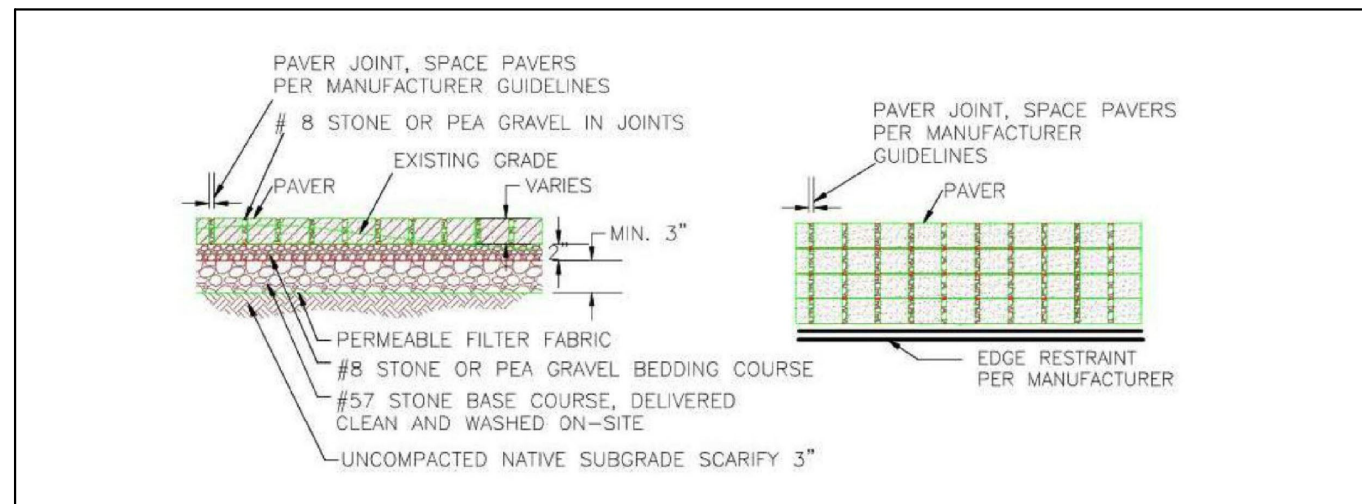
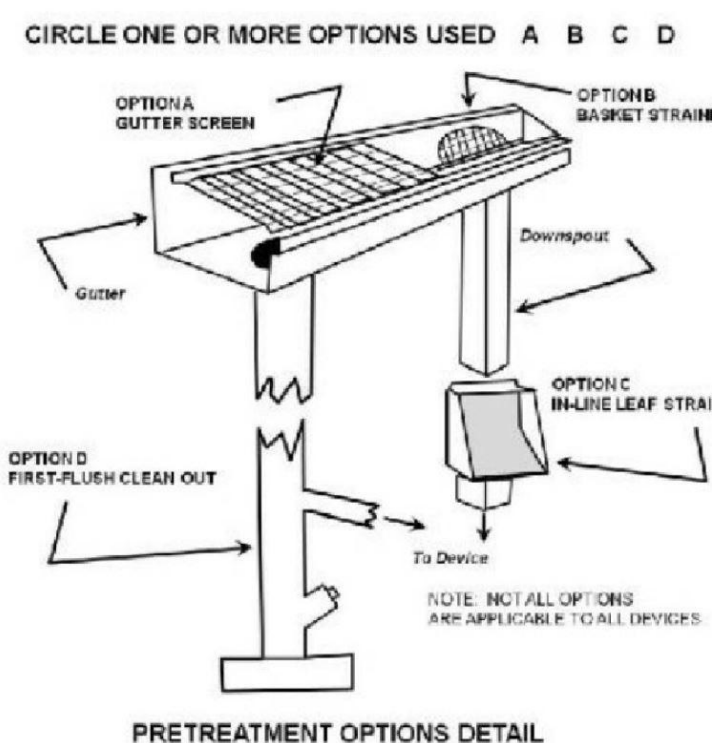
1. REVIEW POTENTIAL PAVER AREAS AND LAYOUT. PAVERS SHOULD SLOPE LESS THAN 6% AWAY FROM THE STRUCTURE AND SHOULD NOT BE LOCATED: (1) ABOVE AN AREA WITH WATER TABLE OR BEDROCK LESS THAN TWO FEET BELOW THE TRENCH BOTTOM; (2) OVER OTHER UTILITY LINES; OR, (3) ABOVE A SEPTIC FIELD.
2. MEASURE THE AREA DRAINING TO THE PAVERS AND DETERMINE REQUIRED PAVER AREA FROM THE TABLE ON THE NEXT PAGE BASED ON THE SOIL DEPTH OF THE LOWER STONE STORAGE LAYER.
3. IF SOIL IS A CONCERN PERFORM INFILTRATION TEST ACCORDING TO APPENDIX A. IF THE RATE IS LESS THAN 0.25 IN/HR THIS METHOD CANNOT BE USED. IF THE RATE IS MORE THAN 0.50 IN/HR THE PAVE AREA MAY BE DECREASED 10% FOR EVERY 0.50 IN/HR INFILTRATION RATE INCREASE ABOVE 0.50 IN/HR.
4. EXCAVATE AREA TO APPROPRIATE DEPTH AND SCARIFY SOIL TO 3'-4".
5. PLACE LEVEL AND COMPACT GRAVEL TO PLANNED DEPTH IN NO MORE THAN 6" LIFTS. THREE INCH MINIMUM DEPTH.
6. PLACE LEVEL AND COMPACT #8 STONE OR PEA GRAVEL BEDDING LAYER. TWO INCH MINIMUM DEPTH.
7. LAY PAVING STONE ONE AT A TIME OR USING MECHANICAL PLACEMENT AS APPLICABLE. CUT STONE AT EDGES TO FIT.
8. INSTALL EDGE RESTRAINTS PER MANUFACTURER'S SPECIFICATIONS.
9. SWEEP MORE #8 STONE OR PEA GRAVEL INTO STONE JOINTS UNTIL FILLED EVEN.
10. CUT AND ROUTED DOWNSPOUTS OR OTHER RAINWATER DELIVERY COMPONENTS, LEAF SCREEN OPTION(S) CHOSEN (CIRCLE SELECTED OPTIONS IN PRETREATMENT OPTIONS DETAIL FIGURE). STRAP AND SUPPORT AS NEEDED.

SIZING CALCULATION:

CONTRIBUTING DRAINAGE AREA (SQUARE FEET)	DEPTH OF LOWER STONE STORAGE LAYER (INCHES)				
	3	4	5	6	8
100	54	45	39	34	27
500	280	230	200	170	140
1000	550	400	390	340	280
2000	1090	920	780	680	550
3000	1630	1360	1170	1020	820
4000	2180	1810	1560	1360	1090
5000	2720	2270	1940	1700	1360

MEASURE CONTRIBUTING DRAINAGE AREA & READ AREA FOR GIVEN MEDIA DEPTH.

CONTRIBUTING DRAINAGE AREA = 2307 SQFT  
 DEPTH OF STONE MEDIA = 8 INCHES  
 PAVER AREA = 844 SQFT



ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHTS-OF-WAY PUBLIC OR PRIVATE. NOTE: PROPERTY LINES SHOWN ON THIS MAP/PLAT REPRESENT PHYSICAL FIELD CONDITIONS BY EVIDENCE OF APPARENT POSSESSION (IRON PINS FOUND, OLD & ESTABLISHED FENCE LINES, OLD WALL LINES, SHRUB & HEDGE LINE, HOUSE LOCATIONS, ETC.) THEY MAY DIFFER AND BE IN CONTENTION FROM EVIDENCE FOUND AT THE APPLICABLE COUNTY COURTHOUSE. THEY MAY ALSO DIFFER FROM OTHER SURVEYOR OPINIONS AND/OR NEIGHBORS SURVEYS/PLATS. A FULL LAND TITLE REPORT OPINION ON ALL PROPERTIES, INCLUDING ADJACENT AND CONTIGUOUS PROPERTIES MAY BE NEEDED TO RESOLVE ALL POSSIBLE PROPERTY LINE DISPUTES OR DISCREPANCIES. THIS MAP/PLAT WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY. THIS MAP/PLAT IS SUBJECT TO REVISIONS AND UPDATE UPON RECEIPT OF SAID TITLE COMMITMENT.

BUILDING LINES SHOWN HEREON DERIVED FROM VARIOUS ONLINE SOURCES. THEY MAY BE IN CONTENTION WITH OR DIFFER FROM INTERPRETATIONS OF GOVERNING AUTHORITIES. IT IS THE CLIENT'S OBLIGATION TO CONFIRM WITH PERMITTING AGENCIES BASED ON THEIR SPECIFIC CONSTRUCTION PROJECTS. ~ THIS MAP/PLAT HAS BEEN FIELD RUN WITH ASSUMED ELEVATIONS, THEN ADJUSTED TO NAVD 88 BASED ON MULTIPLE OBSERVATIONS FROM GOOGLE EARTH SATELLITE IMAGERY OR OTHER ONLINE SOURCES. THE ELEVATIONS SHOWN HEREON ARE +/- 1' (± ONE FOOT).

NOTE: ANY & ALL UNDERGROUND UTILITIES, I.E. SEWER, STORM, GAS, WATER, ETC., HAVE NOT BEEN FIELD LOCATED BY CONVENTIONAL SURVEY METHODS.

NO DETERMINATION OF FLOOD HAZARD HAS BEEN MADE FOR THIS PROPERTY BY THIS SURVEYOR.

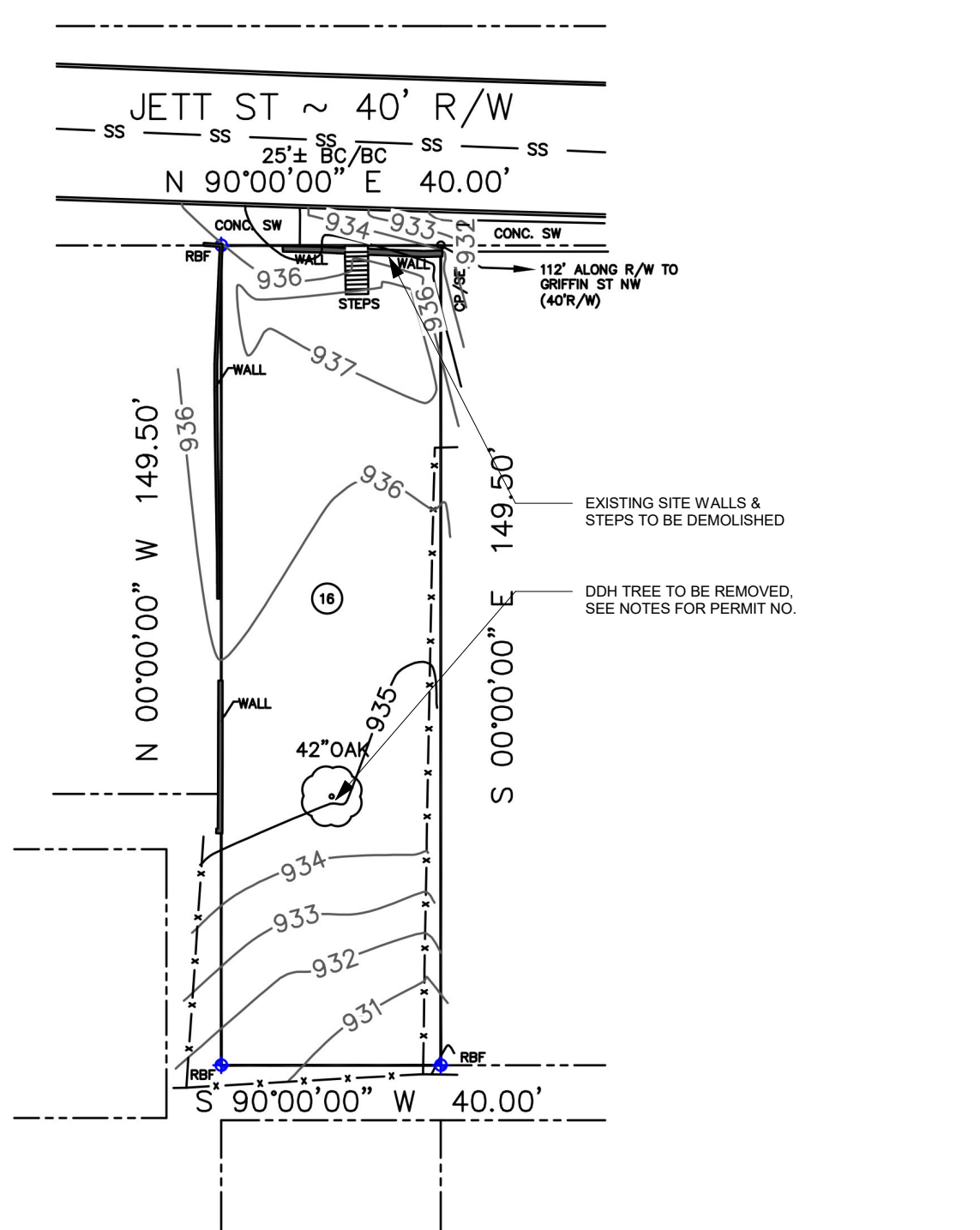
LEGEND:

APP AS PER PLAT	N/F NOW OR FORMERLY	P	PLAT (BOOK/PAGE)
B.S.L. BUILDING (SETBACK) LINE	POB	POC	POINT OF COMMENCEMENT
CP	COMPUTED POINT	R	RADIUS LENGTH
D	DEED (BOOK/PAGE)	R/W	RIGHT-OF-WAY
DW	DRIVEWAY	REF	REINFORCING BAR FOUND (1/2" UNO)
EP	EDGE OF PAVEMENT	RBS	1/2" REINFORCING BAR SET
FPE	FINISH FLOOR ELEVATION	S	SEWER
FKA	FORMERLY KNOWN AS	SSE	SANITARY SEWER EASEMENT
IFF	IRON PIN FOUND	SSCO	SANITARY SEWER CLEANOUT
L	ARC LENGTH	W	WALL
LL	LAND LOT		
LLL	LAND LOT LINE		
N	NEIGHBORS		

NOTES:

42" OAK DETERMINED TO BE DDH. WILL BE REMOVED. PERMIT NUMBER: BA-202202648

EXISTING UNSAFE SITE WALLS & STEPS TO BE DEMOLISHED



PROPERTY ADDRESS: 746 JETT ST NW, ATLANTA, GA 30318

LAND AREA: 5980 SF, 0.14 AC

IMPERVIOUS AREA: EXIST= 71 SF= 1.2%

ZONING: SPI-3

PLAT PREPARED FOR: 746 JETT ST

LOT 1 PARCEL ID: 14 011100050838

FULTON COUNTY, GEORGIA

FIELD DATE: 04-18-2022 NH

LOCATED IN ATLANTA

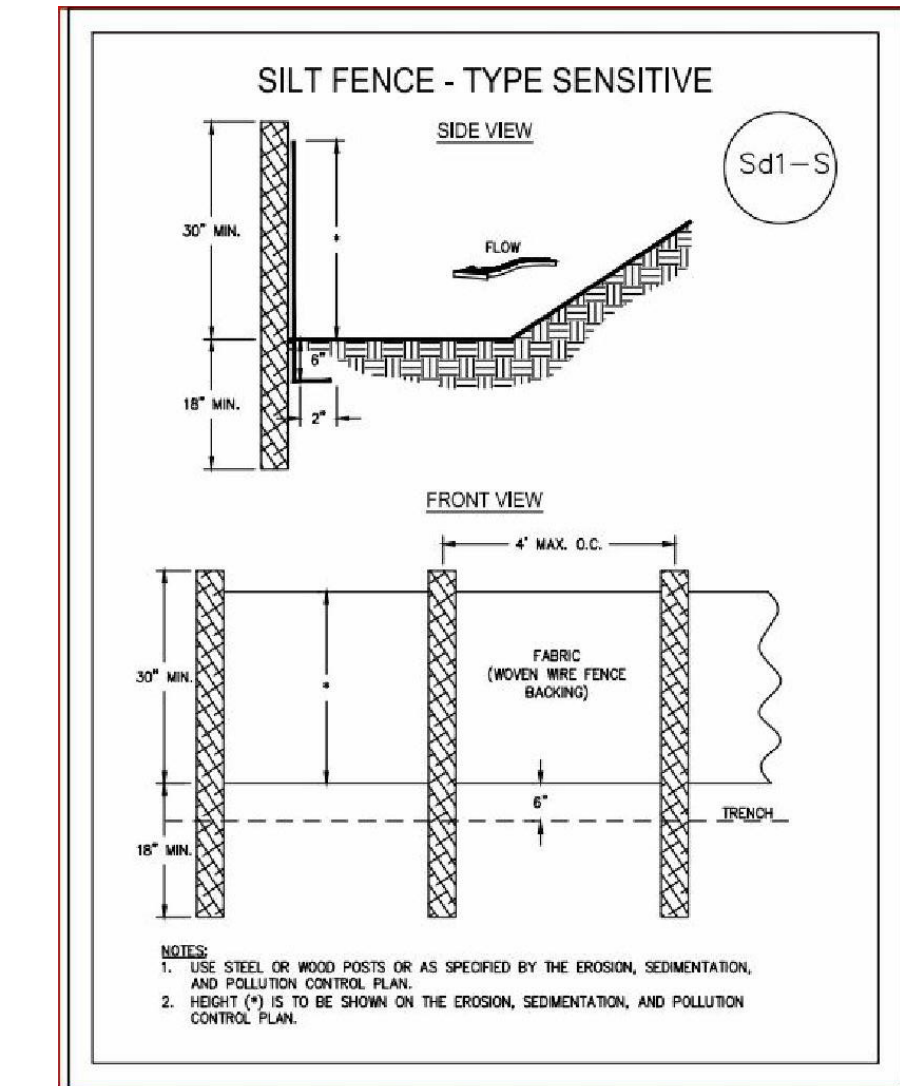
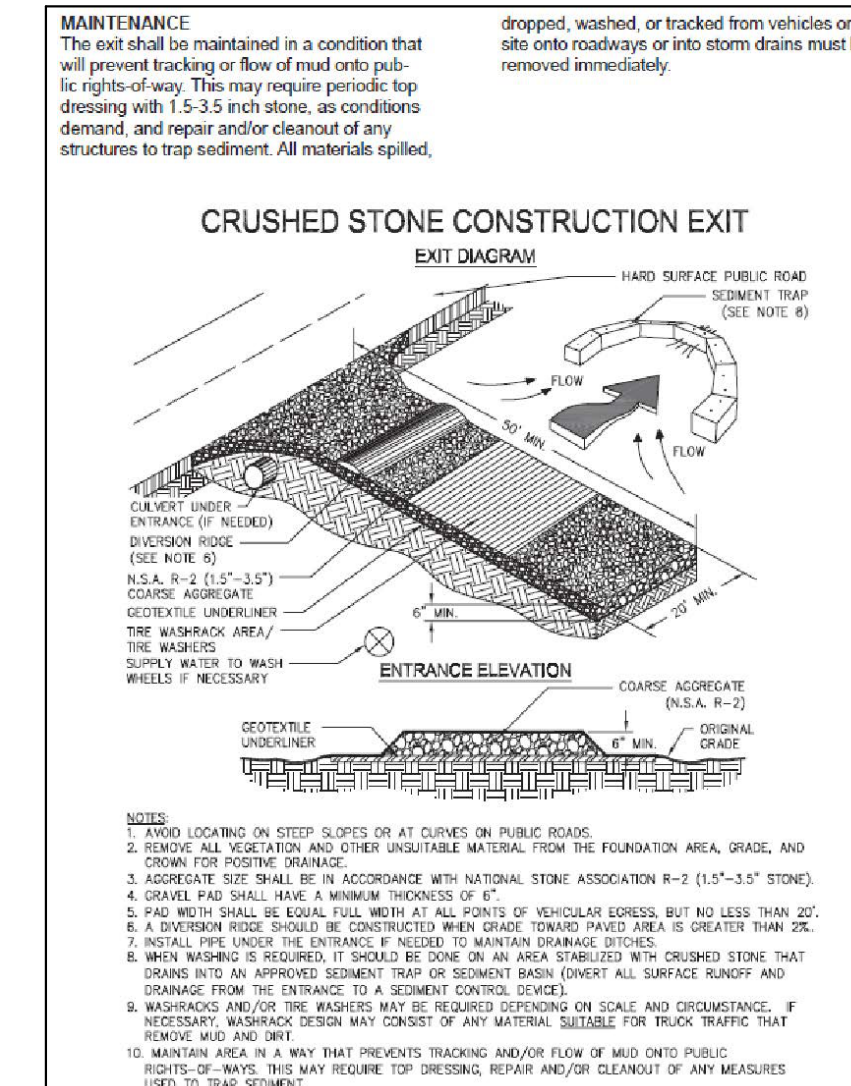
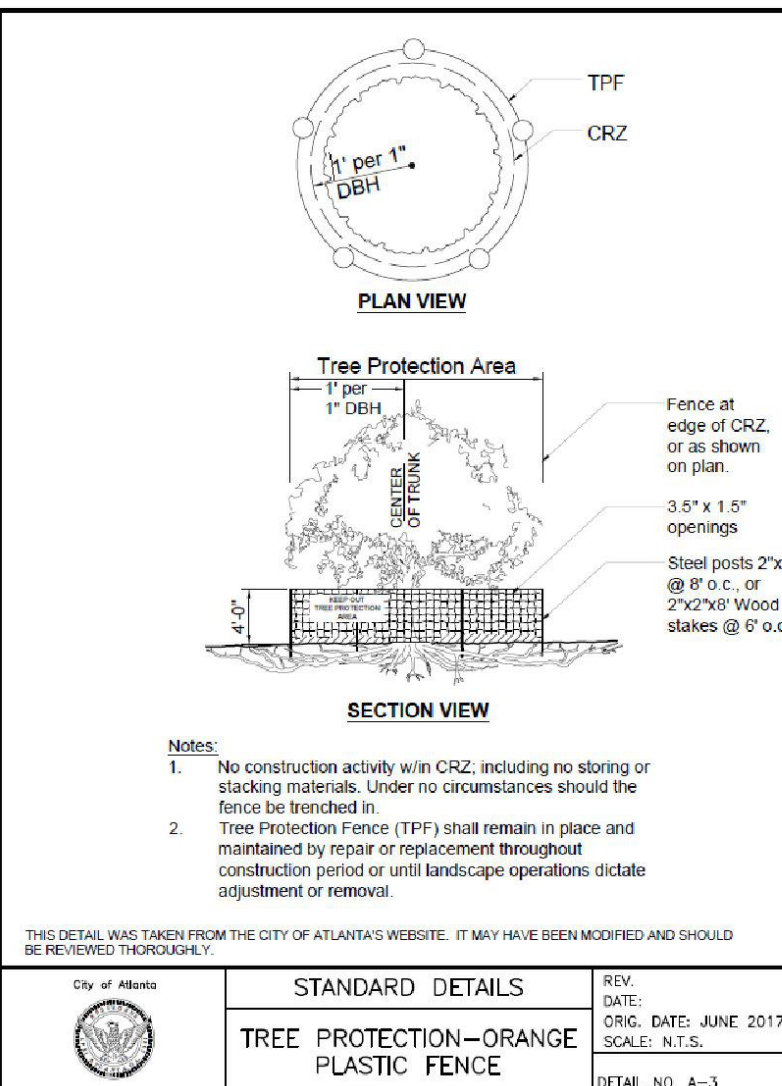
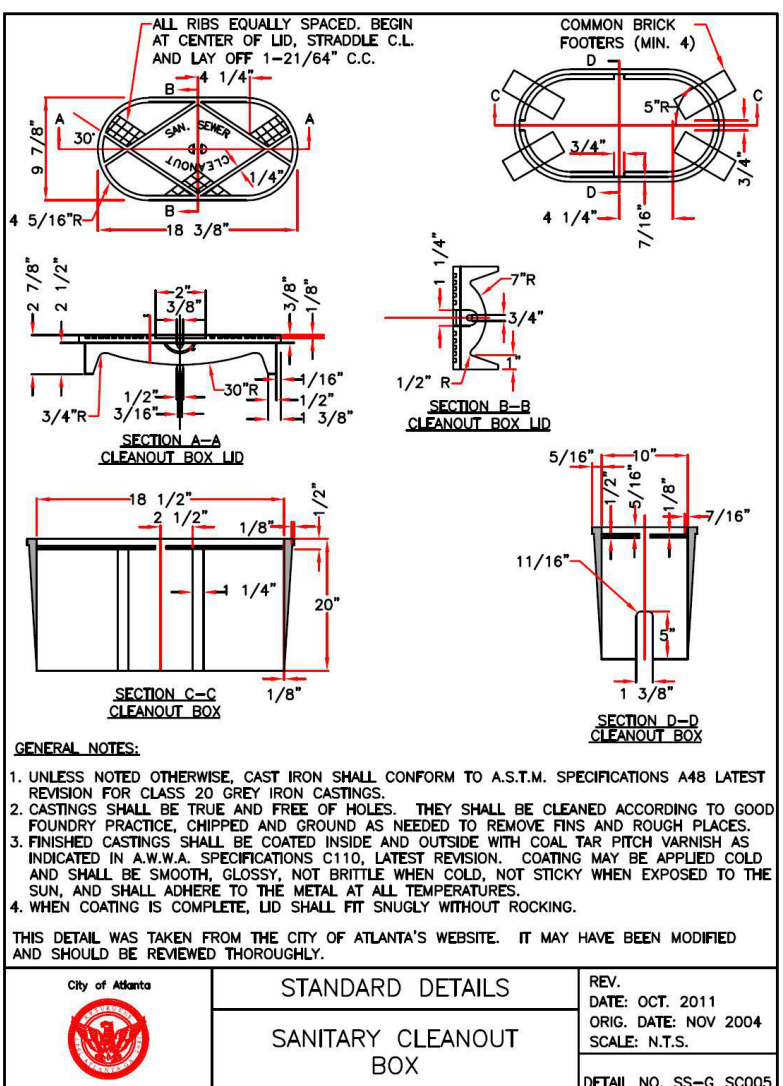
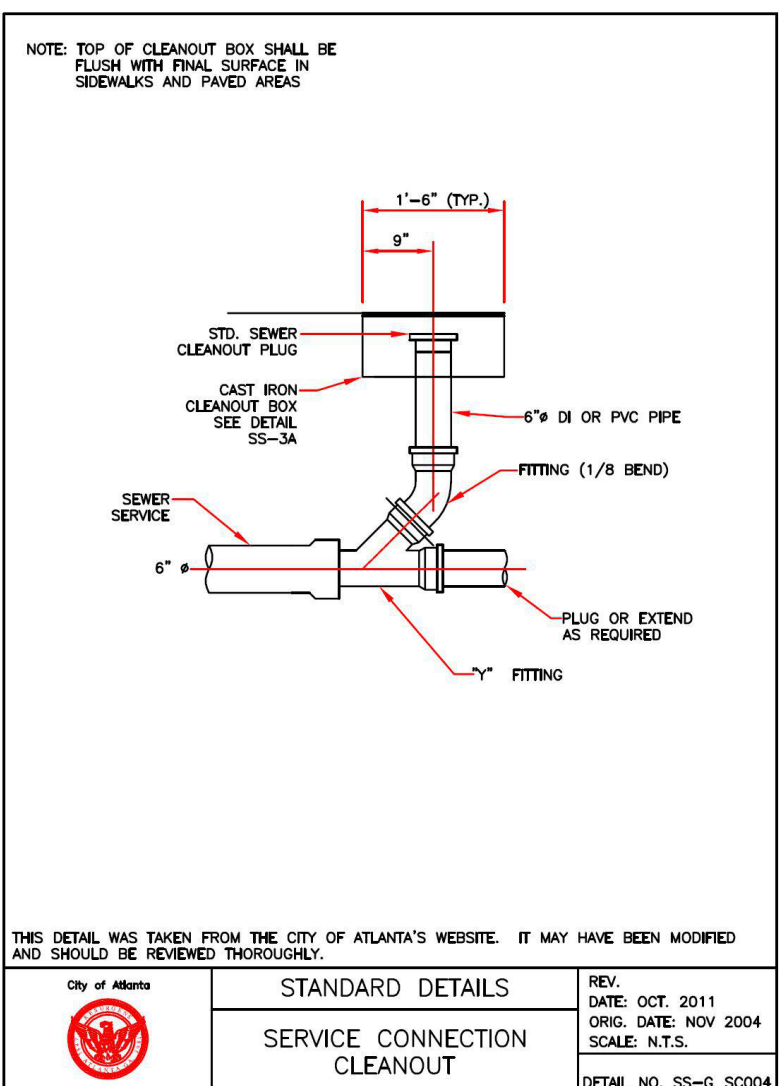
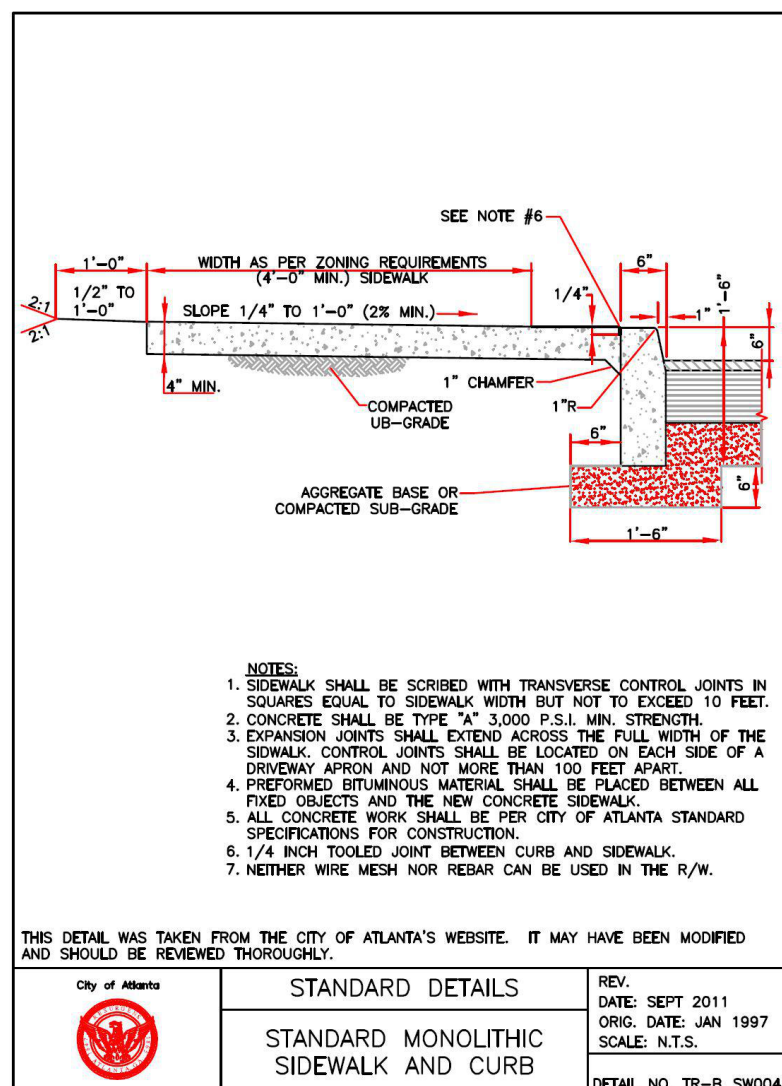
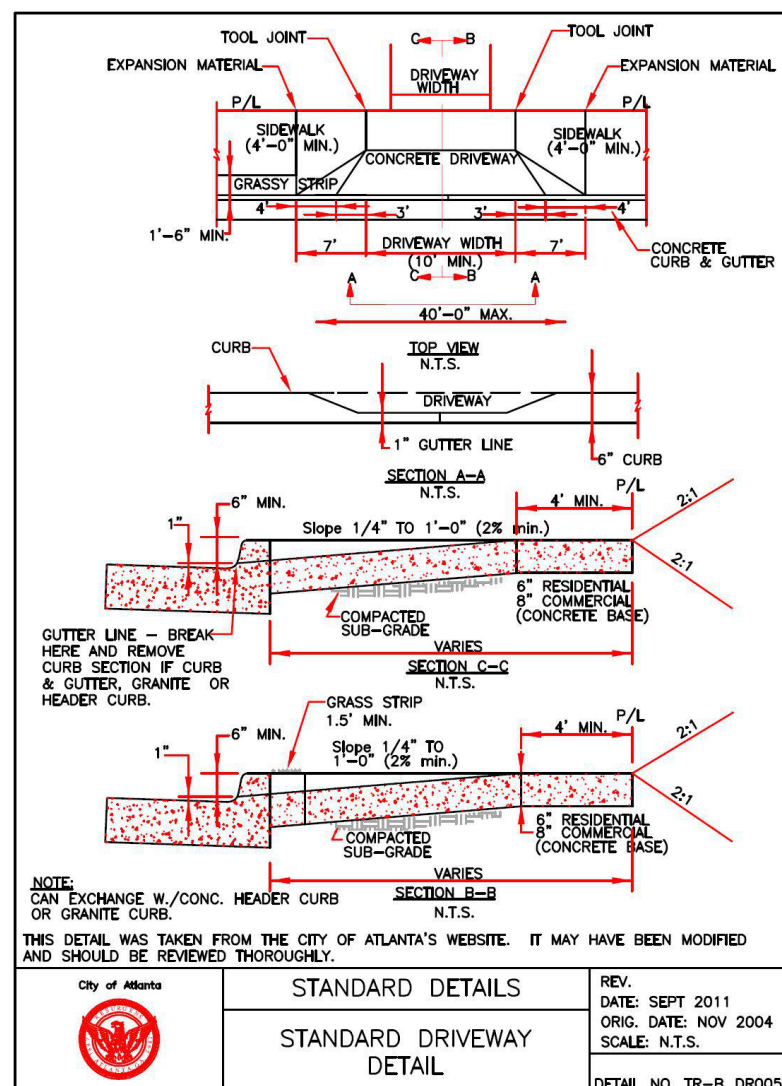
DRAWN DATE: 04-18-2022 AE

REFERENCE: DEED BOOK: 65363 PAGE: 526

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 1000 FEET. AN ELECTRONIC TOTAL STATION WAS USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AND AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67.

Official Survey 1" = 30'-0"



FLOURISHING COMMUNITIES COLLABORATIVE

THE JETT STREET RESIDENCES

746 JETT STREET  
 ATLANTA, GA 30318

ISSUANCE SCHEDULE

07/13/2022 PERMIT DOCS

REVISION SCHEDULE

MARK	DATE	DESCRIPTION
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PROJECT ID: 001

SHEET TITLE

General Notes and Official Survey

SHEET NUMBER

ISSUED FOR PERMIT

A1-1

ISSUANCE SCHEDULE

07/13/2022	PERMIT DOCS
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REVISION SCHEDULE

MARK	DATE	DESCRIPTION
1	09/27/2022	REVISED PERMIT DOCS V2

PROJECT ID: 001  
SHEET TITLE:

Proposed Site Plan

SHEET NUMBER

ISSUED FOR PERMIT

SAP APPLICATION NUMBER: SAP-22-123

ZONING SPI-3 SA1	RATIO	SQFT
<b>LOT SIZE (IN SQFT)</b>		
NET LOT AREA (NLA) = (149.5)(40)		5980
<b>FAR</b> = (COMBINED CONDITIONED SQFT/NLA)		
BASE ALLOWED	0.50	2990
BASE PROVIDED	0.35	2090
MAIN UNIT CONDITIONED - 1ST FLOOR		726
MAIN UNIT CONDITIONED - 2ND FLOOR		852
ADU CONDITIONED SPACE		512
TOTAL		2090
<b>LOT COVERAGE PROVIDED</b> = (AREA OF BUILDING FOOTPRINTS, PORCHES)/NLA		
MAX PERMITTED LOT COVERAGE	0.70	4186
PROVIDED LOT COVERAGE	0.28	1680
BUILDING FOOT PRINT - MAIN UNIT		800
BUILDING FOOT PRINT - ADU		512
PORCHES		368
TOTAL		1680
<b>RESIDENTIAL FACADE FENESTRATION</b> (% OF EACH STREET-FRONTING FACADE CALCULATED SEPARATELY, PER DISTRICT REGULATIONS)		
MIN. REQUIRED	0.15	
PROVIDED	0.17 JETT ST	

- TREES**
- (1) LARGE: SHUMARD OAK OR BLACKGUM
  - (3) SMALL: REDBUD OR MUSCLEWOOD

- FLOWERING SHRUBS**
- (4) ANNABELLE HYDRANGEA, FOTHERGILLA, OR ITEA

- EVERGREEN SHRUBS**
- (3) INKBERRY, OR DWARF YAUPON HOLLY

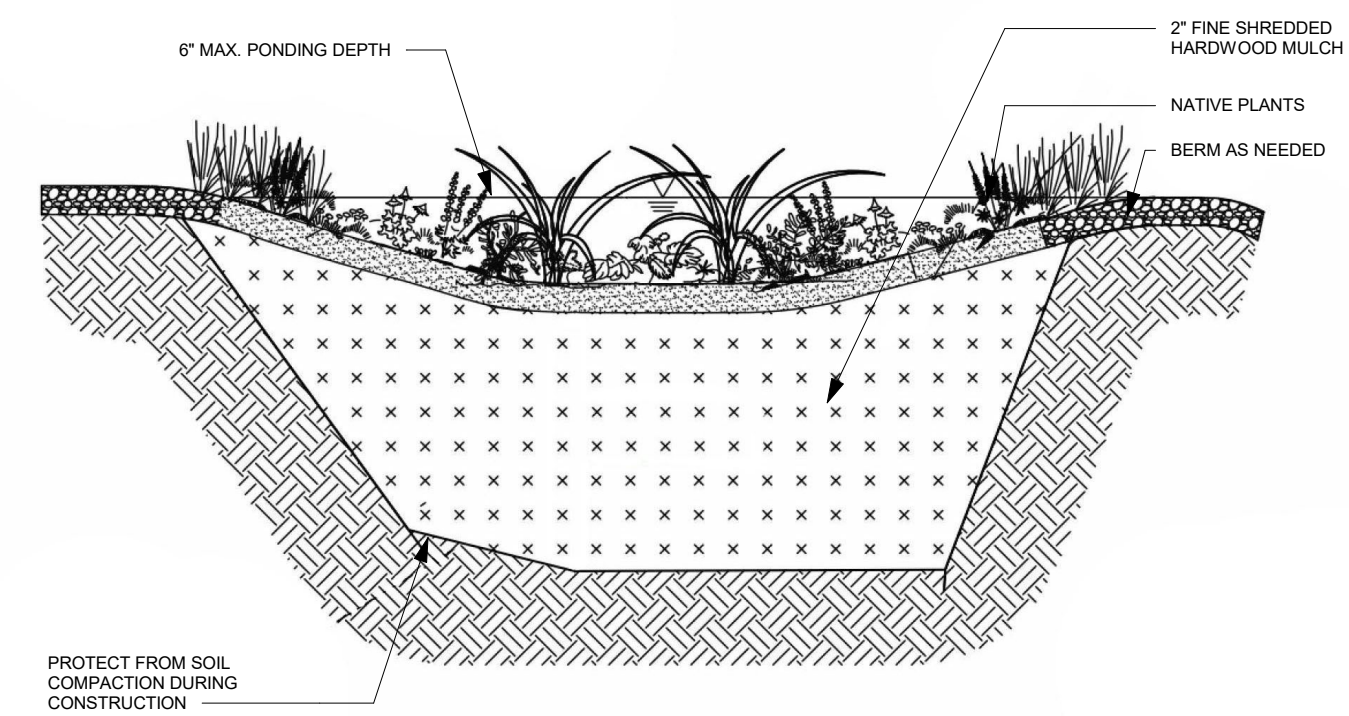
- RAIN GARDEN/BIOSWALE**
- (NOT USED) TREE  
SMALL: SWEETBAY MAGNOLIA OR MUSCLEWOOD TREE  
LARGE: BALD CYPRESS
  - (AS NEEDED) SHRUBS  
ITEA, INKBERRY, AND/OR CLETHRA
  - (AS NEEDED) GRASSES  
SWITCHGRASS, SWEETFLAG FERNS (SHADE ONLY), CINNAMON FERN, NEW YORK FERN, LADY FERN FORBS, SCARLET HIBISCUS, JOE-PYE WEED, BACKEYED SUSAN, BOLTONIA, AND/OR FOAMFLOWER (SHADE ONLY)

**STORMWATER MITIGATION BY A RAIN GARDEN**

CONTRIBUTING AREA: 2307 SF  
DEPTH OF AMENDED SOIL: 18"  
AREA OF RAIN GARDEN: 388 SF

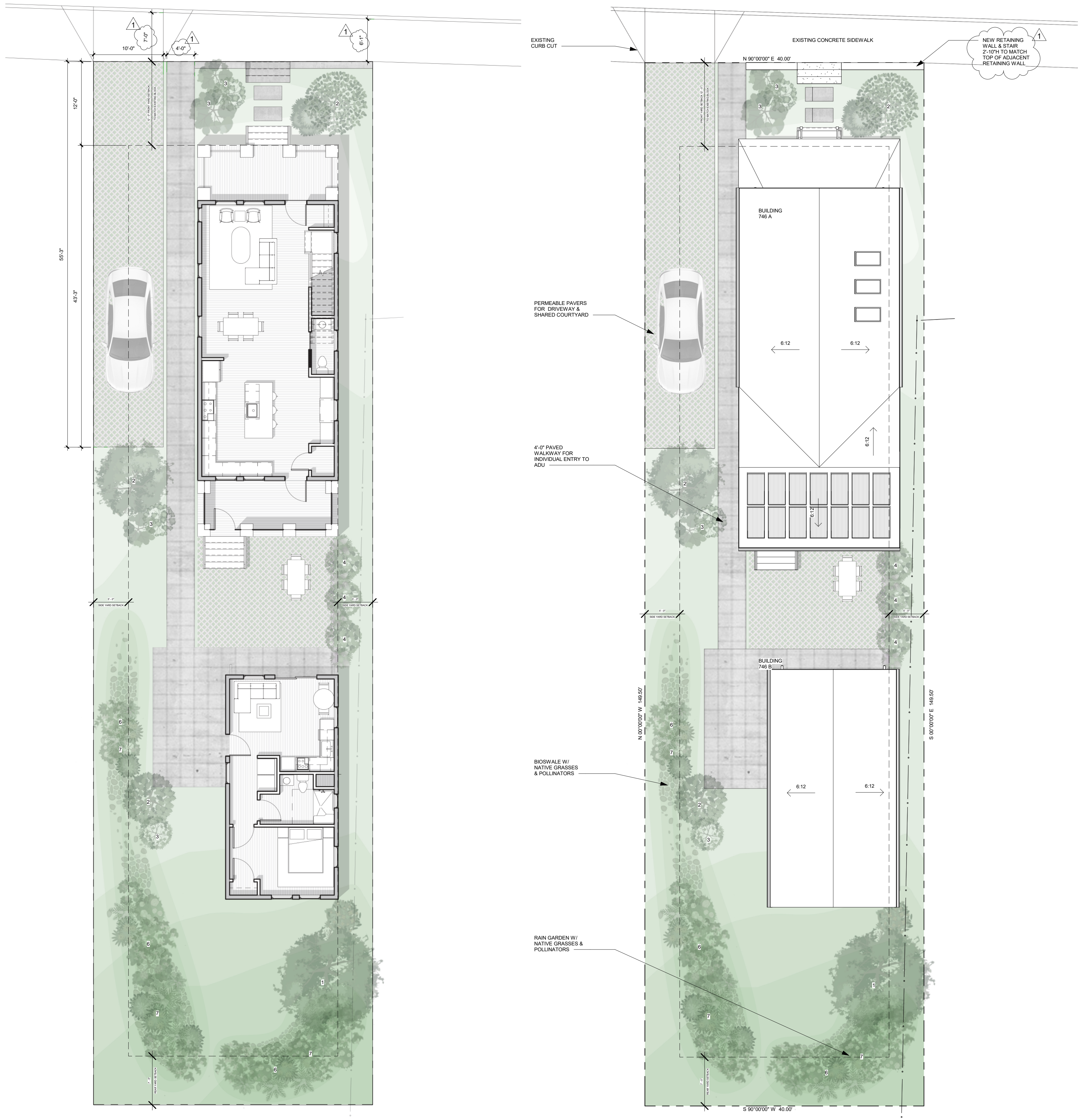
DIRECT ALL DOWNSPOUT TO RAIN GARDEN

**MAINTENANCE:**  
ROUTINE GARDEN MAINTENANCE SHOULD INCLUDE WEEDING, DEADHEADING, REPLACING DEAD PLANTS, AND REPLENISHING MULCH WHEN DEPLETED. CATCHING AREAS OF EROSION IS ALSO IMPORTANT AS IS CORRECTING STANDING WATER PROBLEMS. IF STANDING WATER PERSISTS IT MAY BE NECESSARY TO PLACE A PERFORATED UNDERDRAIN IN THE GARDEN DAYLIGHTING DOWNSTREAM.

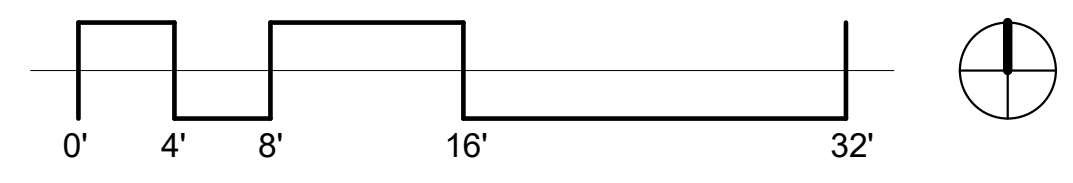


RAIN GARDEN - TYPICAL CROSS-SECTION NTS

JETT STREET



Proposed Site Plan - Roof  
1/8" = 1'-0"



Proposed Site Plan - Ground Floor  
1/8" = 1'-0"

**THE JETT STREET RESIDENCES**  
746 JETT STREET  
ATLANTA, GA 30318

ISSUANCE SCHEDULE	
07/13/2022	PERMIT DOCS

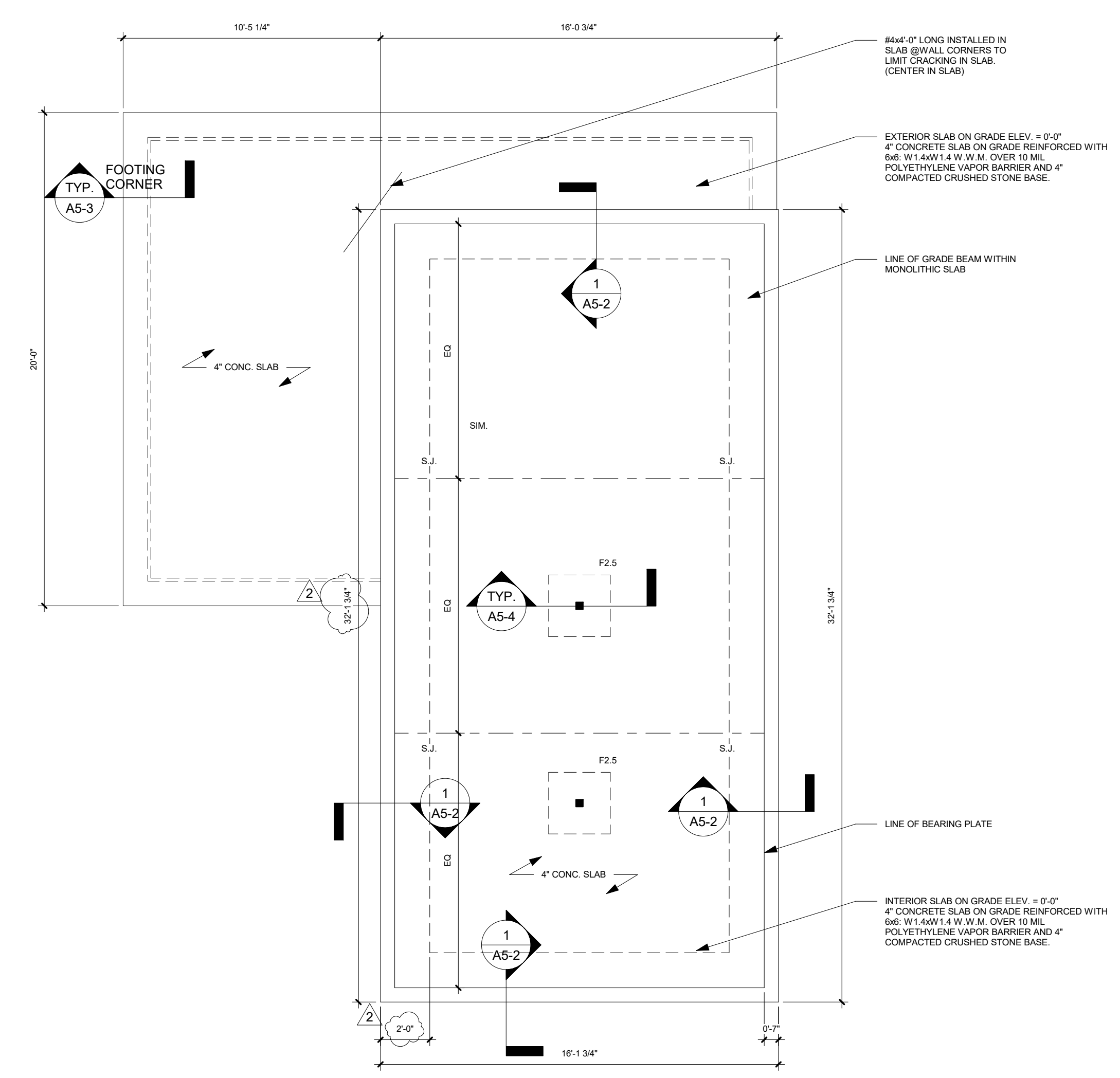
REVISION SCHEDULE		
MARK	DATE	DESCRIPTION
2	03/05/2023	REVISED STRUCTURAL DETAILS

PROJECT ID: 001  
SHEET TITLE:

**Proposed Foundation Plans**

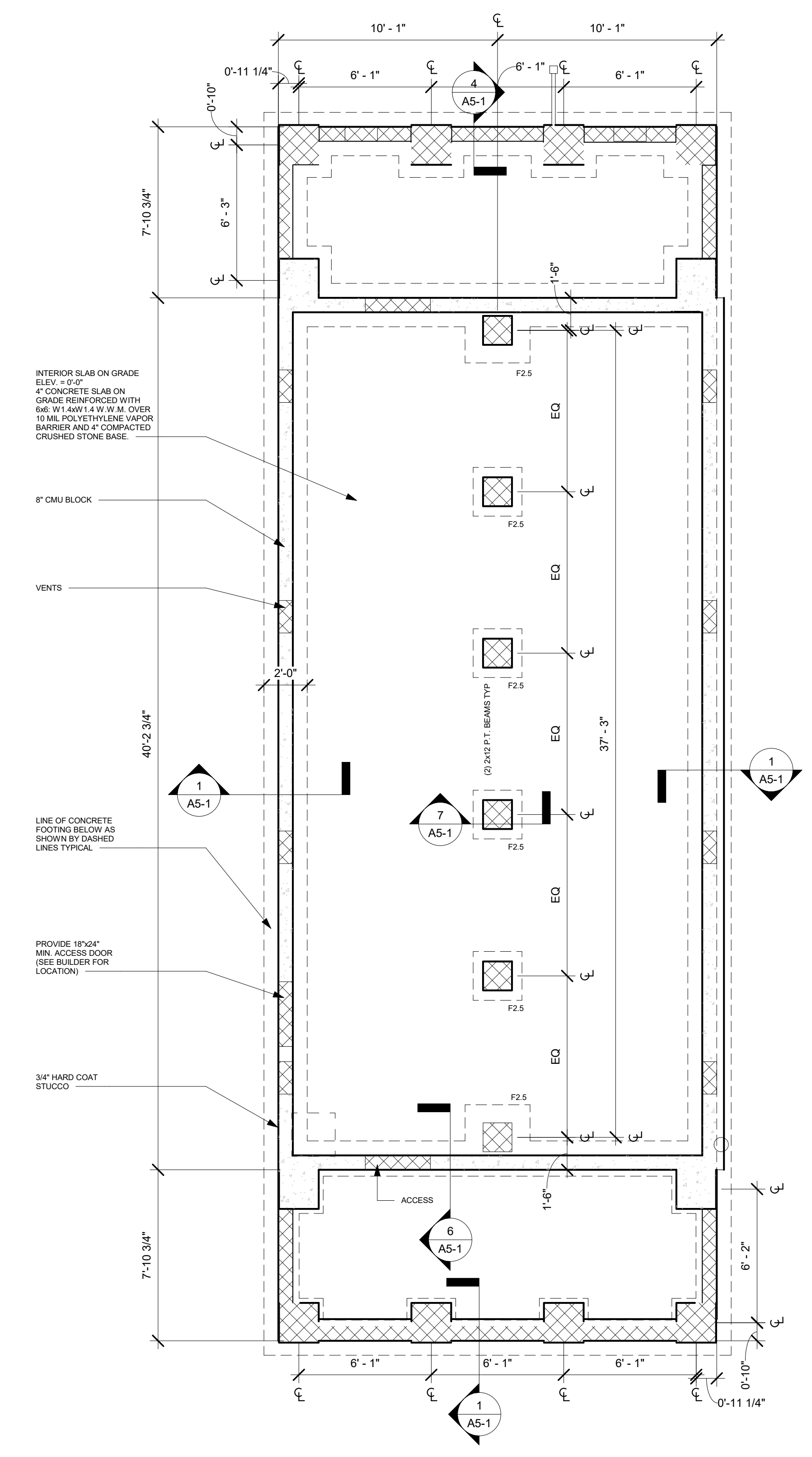
SHEET NUMBER

**A2-0**



NOTES:  
1. ALL POSTS ARE (3) 2x TYP. UNID.  
2. S.J. - SLAB JOINT (SAWCUT CONTRACTION JOINT OR FORMED CONSTRUCTION JOINT @ CONTRACTOR'S OPTION)

2 Proposed Slab Plan - ADU  
1/4" = 1'-0"



1 Proposed Foundation Plan - Main Unit  
1/4" = 1'-0"

MARK	FOOTING SIZE	REINFORCEMENT
F2.5	2'-6" x 2'-6" x 12"	(3) #5 x 2'-0" LONG EACH WAY

ISSUED FOR PERMIT

**THE JETT STREET RESIDENCES**

746 JETT STREET  
ATLANTA, GA 30318

ISSUANCE SCHEDULE  
07/13/2022 PERMIT DOCS

REVISION SCHEDULE  
MARK DATE DESCRIPTION

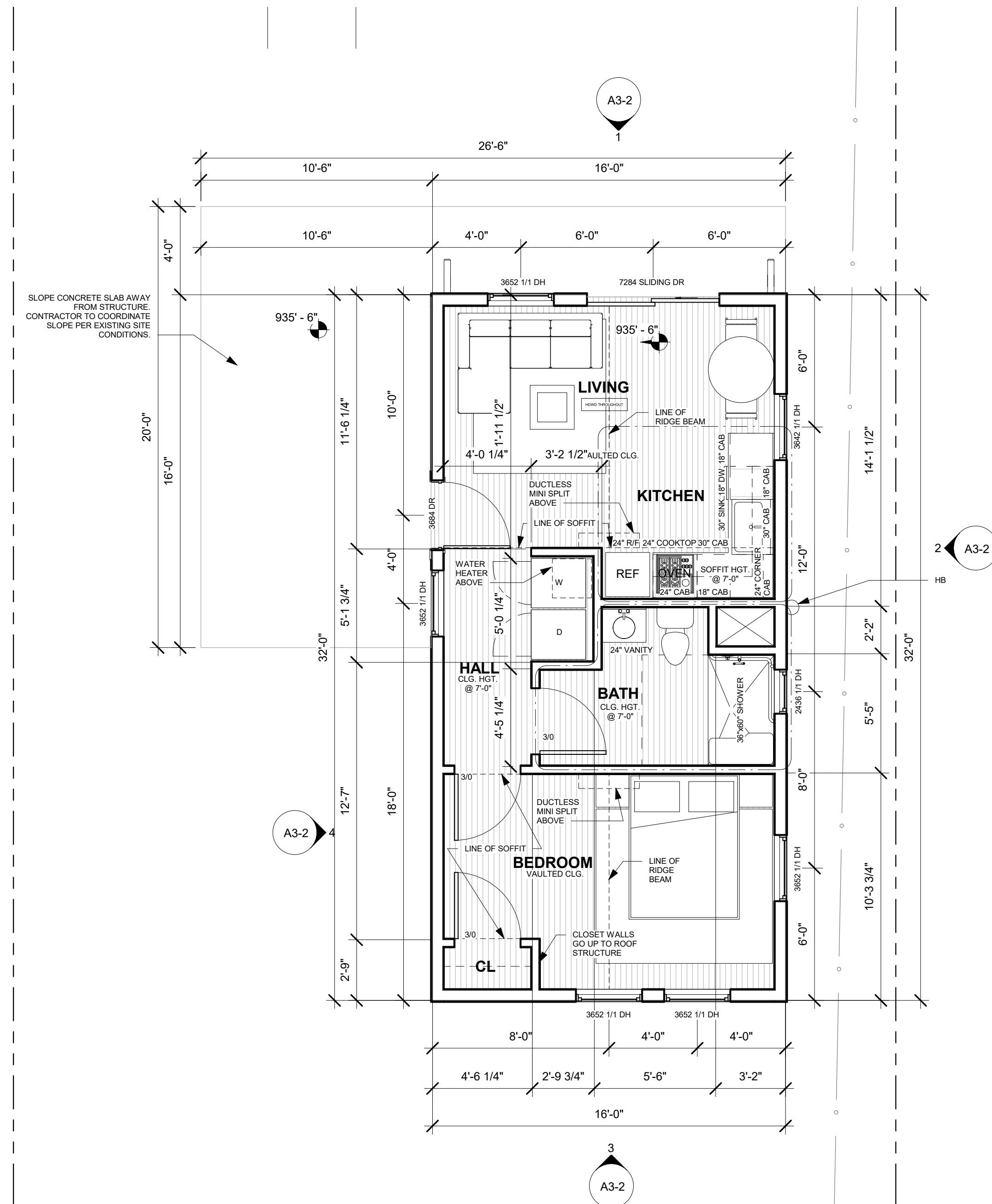
PROJECT ID 001  
SHEET TITLE

Proposed First  
Floor Plans

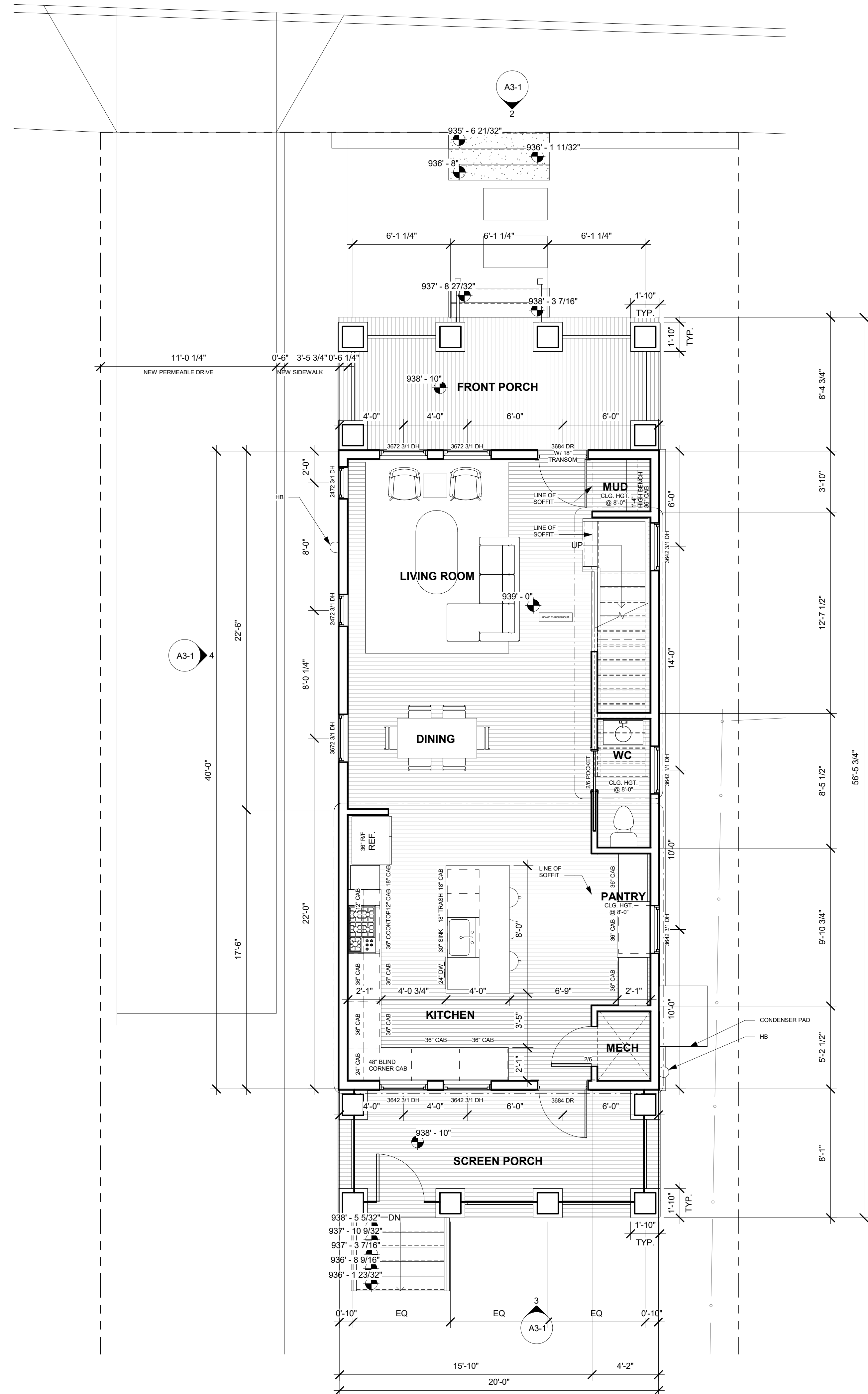
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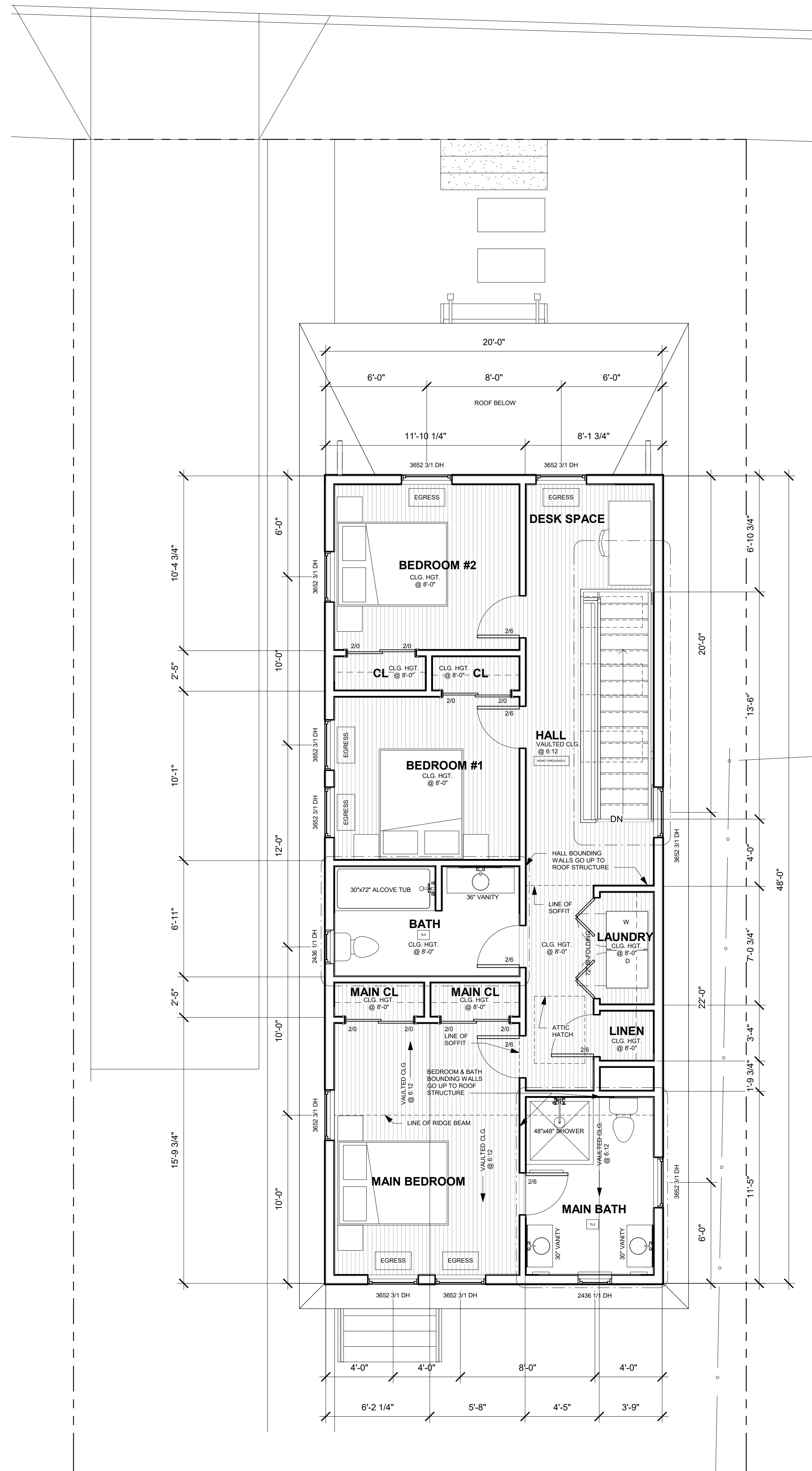
**A2-1**



1 Proposed First Floor - ADU  
1/4" = 1'-0"



2 Proposed First Floor - Main Unit  
1/4" = 1'-0"



1 Proposed Second Floor - Main Unit  
1/4" = 1'-0"

THE JETT STREET RESIDENCES

746 JETT STREET  
ATLANTA, GA 30318

ISSUANCE SCHEDULE  
07/13/2022 PERMIT DOCS

REVISION SCHEDULE  
MARK DATE DESCRIPTION

PROJECT ID 001  
SHEET TITLE

Proposed  
Second Floor  
Plan

SHEET NUMBER

ISSUED FOR PERMIT

A2-2

**THE JETT STREET RESIDENCES**

746 JETT STREET  
ATLANTA, GA 30318

ISSUANCE SCHEDULE	
07/13/2022	PERMIT DOCS

REVISION SCHEDULE		
MARK	DATE	DESCRIPTION
2	03/05/2023	REVISED STRUCTURAL DETAILS

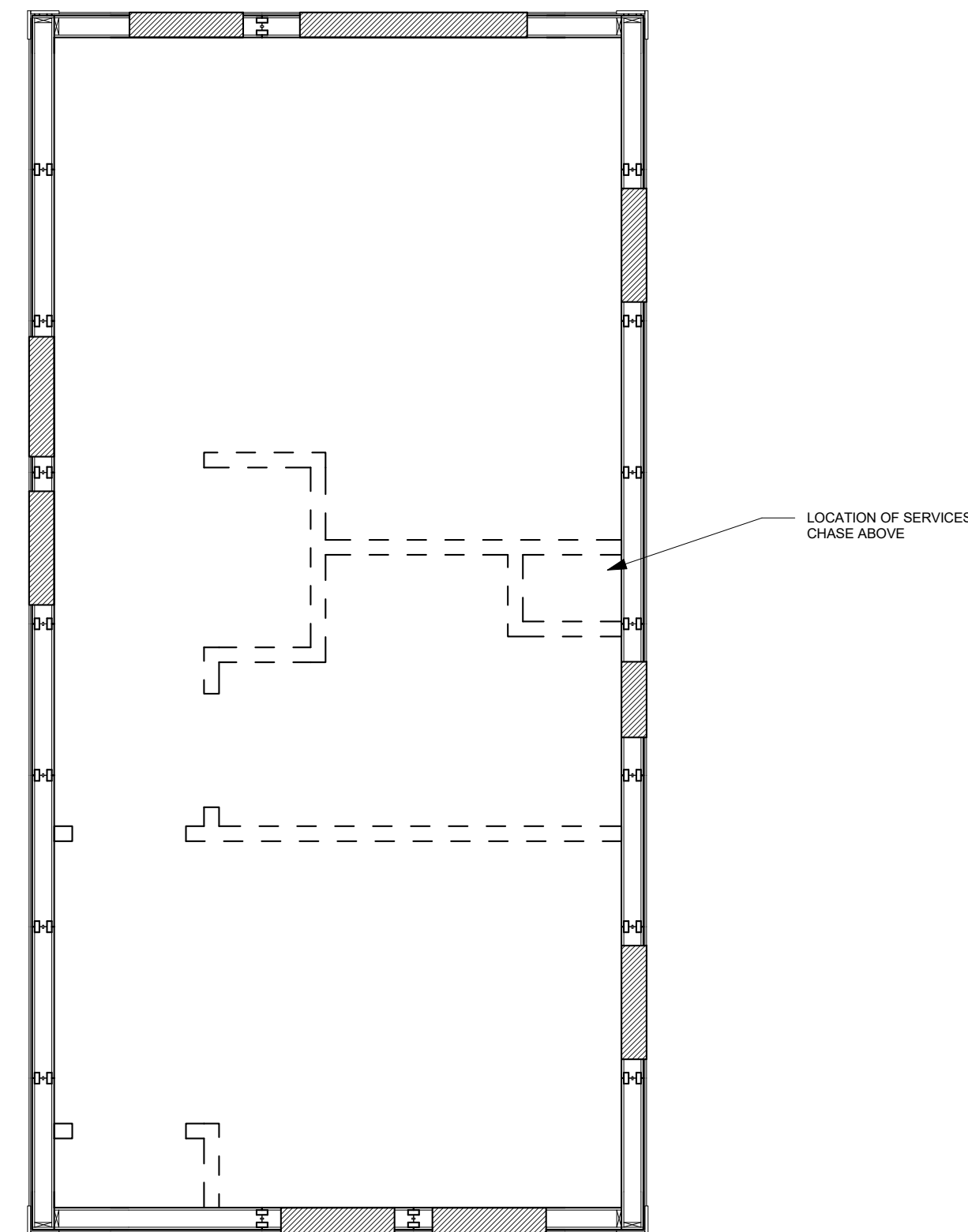
PROJECT ID	001
SHEET TITLE	

First Floor  
Framing Plans

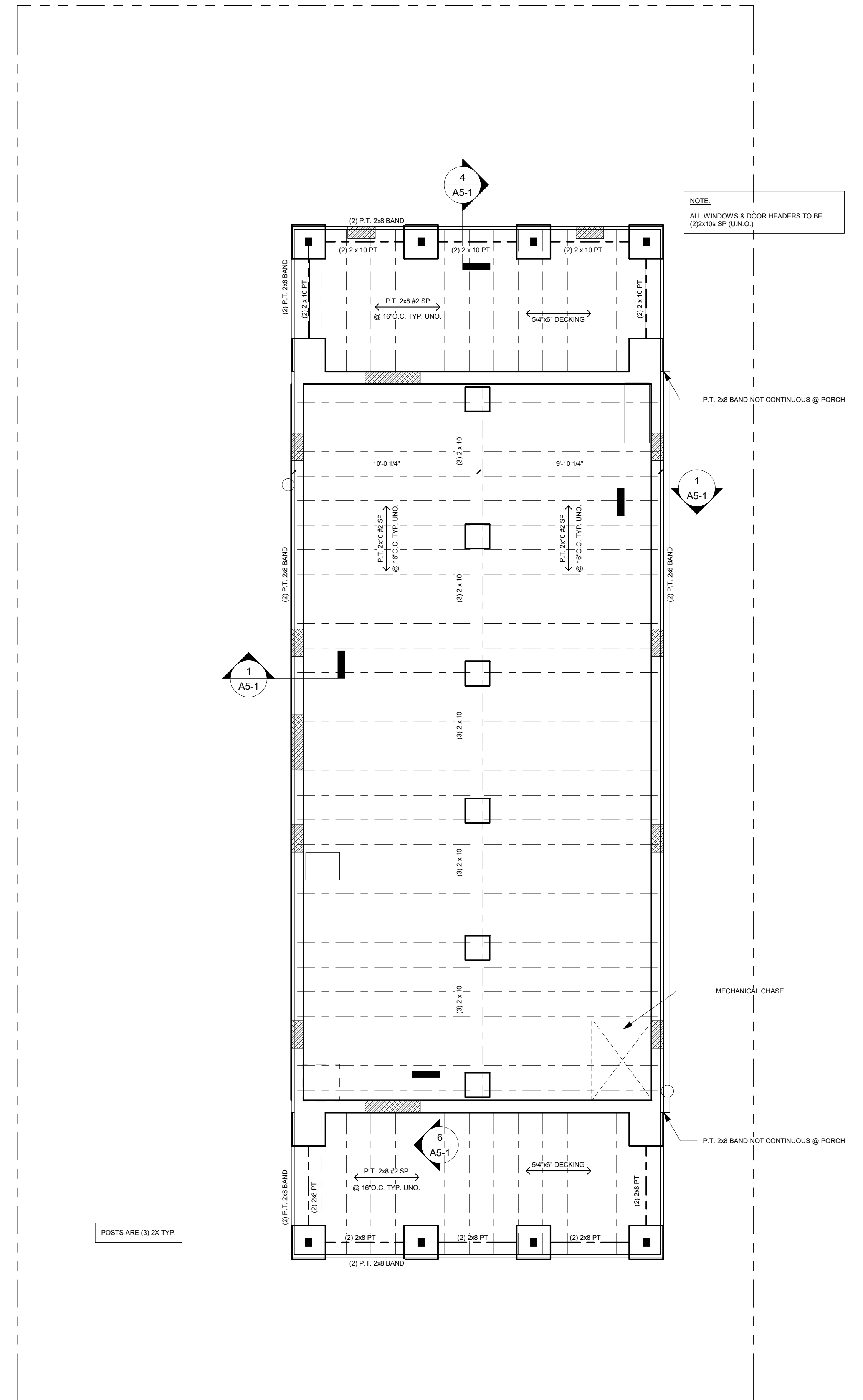
SHEET NUMBER

**A2-3**

ISSUED FOR PERMIT



2 First Floor Framing Plan - ADU  
1/4" = 1'-0"



1 First Floor Framing Plan - Main Unit  
1/4" = 1'-0"

**THE JETT STREET RESIDENCES**

746 JETT STREET  
ATLANTA, GA 30318

ISSUANCE SCHEDULE  
07/13/2022 PERMIT DOCS

REVISION SCHEDULE

MARK	DATE	DESCRIPTION
2	03/05/2023	REVISED STRUCTURAL DETAILS

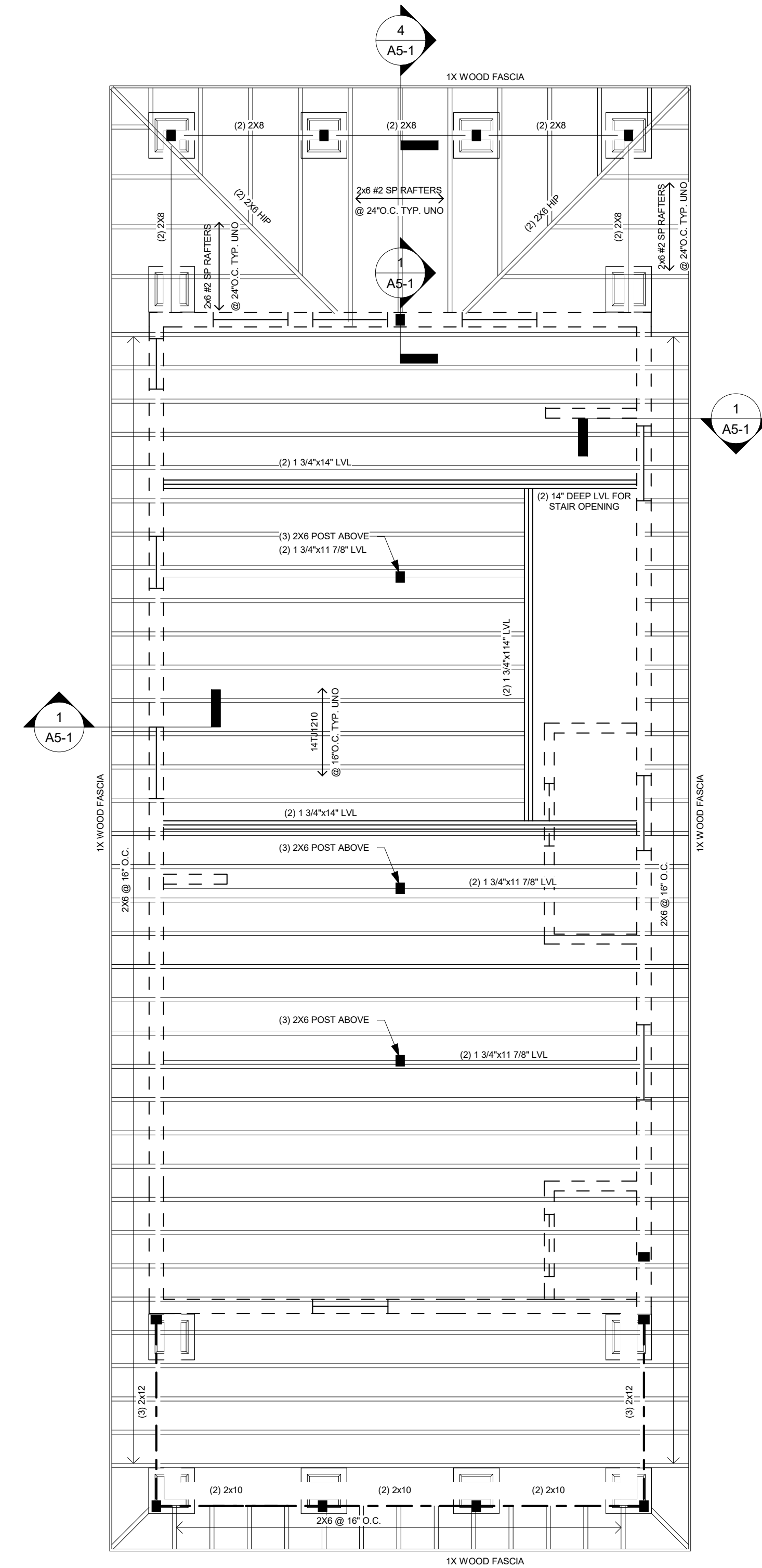
PROJECT ID 001  
SHEET TITLE

Second Floor  
Framing Plan

SHEET NUMBER

**A2-4**

ISSUED FOR PERMIT



**NOTE:**  
 • ALL WINDOWS & DOOR HEADERS TO BE (2X10 SYP UN.D.)  
 • ALL POSTS (3/2x TYP. UNO)

1 Second Floor Framing Plan - Main Unit  
1/4" = 1'-0"

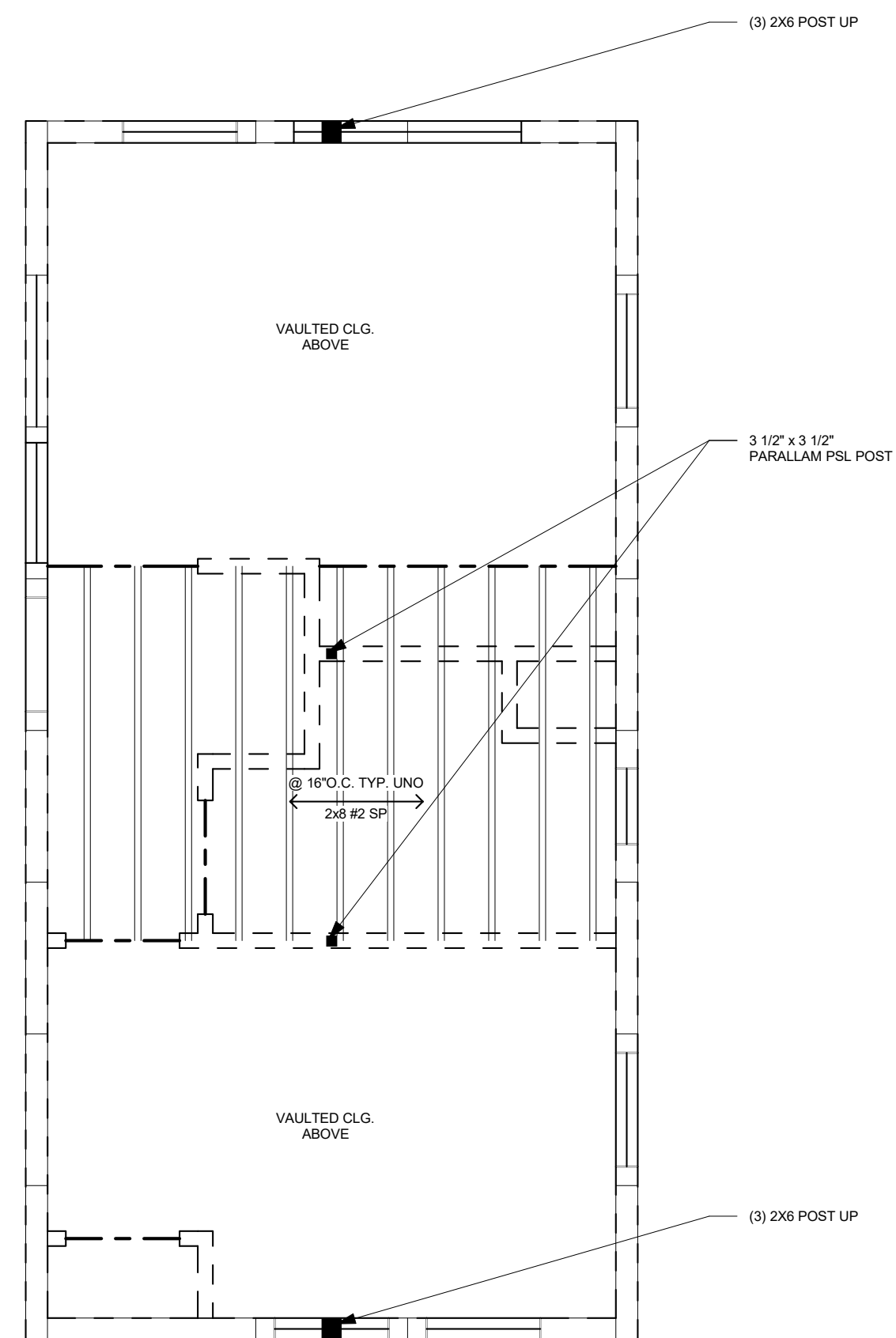


THE JETT STREET RESIDENCES

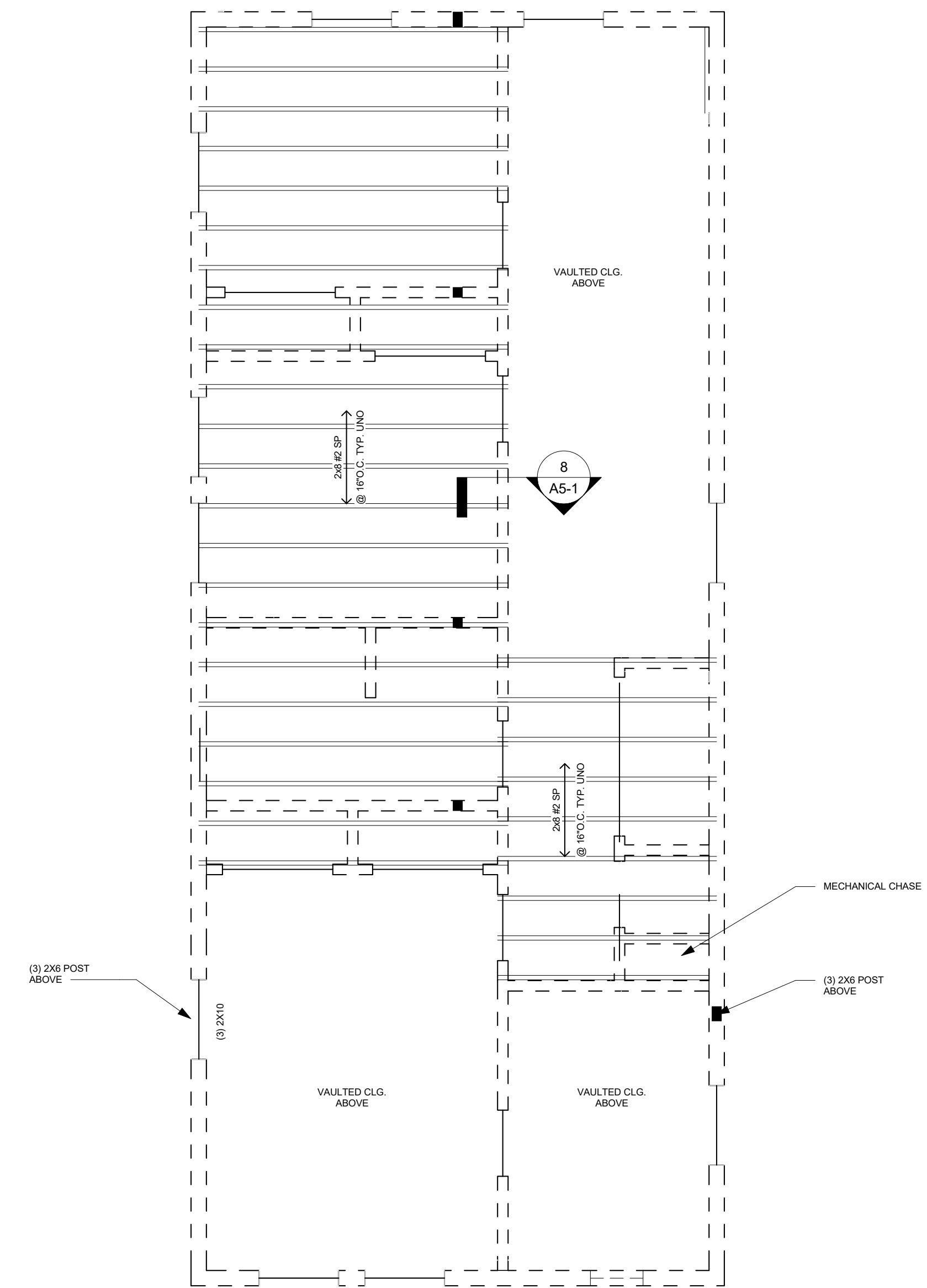
746 JETT STREET  
ATLANTA, GA 30318

**NOTE:**

- ALL WINDOWS & DOOR HEADERS TO BE (2) 2X6 SP (UNK. O.)
- ALL POSTS (3) 2X, TYP. UNO.



② First Floor Ceiling Framing Plan - ADU  
1/4" = 1'-0"



① Second Floor Ceiling Framing Plan - Main  
Unit  
1/4" = 1'-0"

ISSUANCE SCHEDULE

MARK	DATE	DESCRIPTION
07/13/2022		PERMIT DOCS

REVISION SCHEDULE

MARK	DATE	DESCRIPTION
2	03/05/2023	REVISED STRUCTURAL DETAILS

PROJECT ID 001

SHEET TITLE

Ceiling Framing  
Plan

SHEET NUMBER

A2-5

ISSUED FOR PERMIT

THE JETT STREET RESIDENCES

746 JETT STREET  
ATLANTA, GA 30318

ISSUANCE SCHEDULE  
07/13/2022 PERMIT DOCS

REVISION SCHEDULE		
MARK	DATE	DESCRIPTION
2	03/05/2023	REVISED STRUCTURAL DETAILS

PROJECT ID 001  
SHEET TITLE

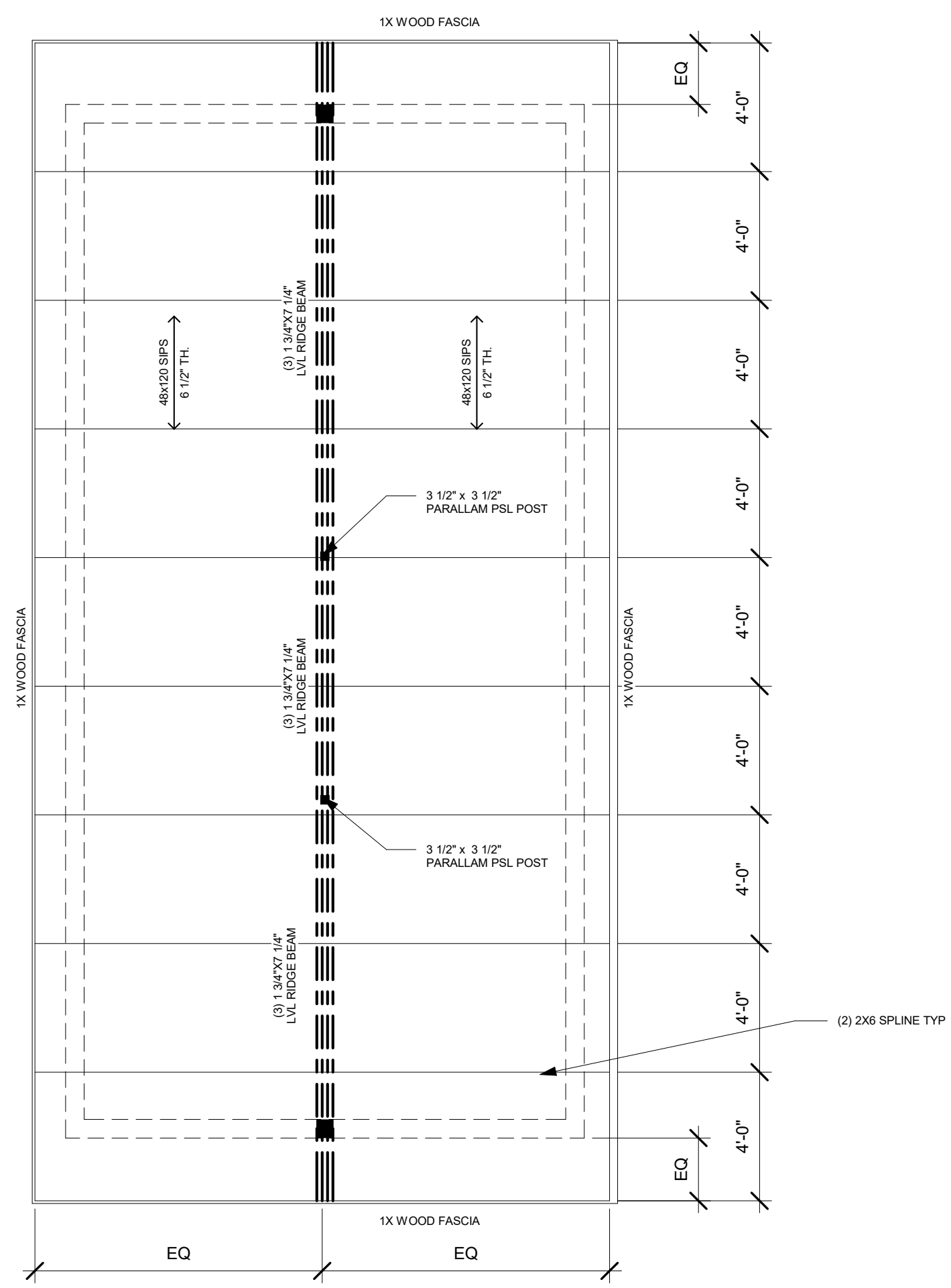
Roof Framing  
Plans

SHEET NUMBER

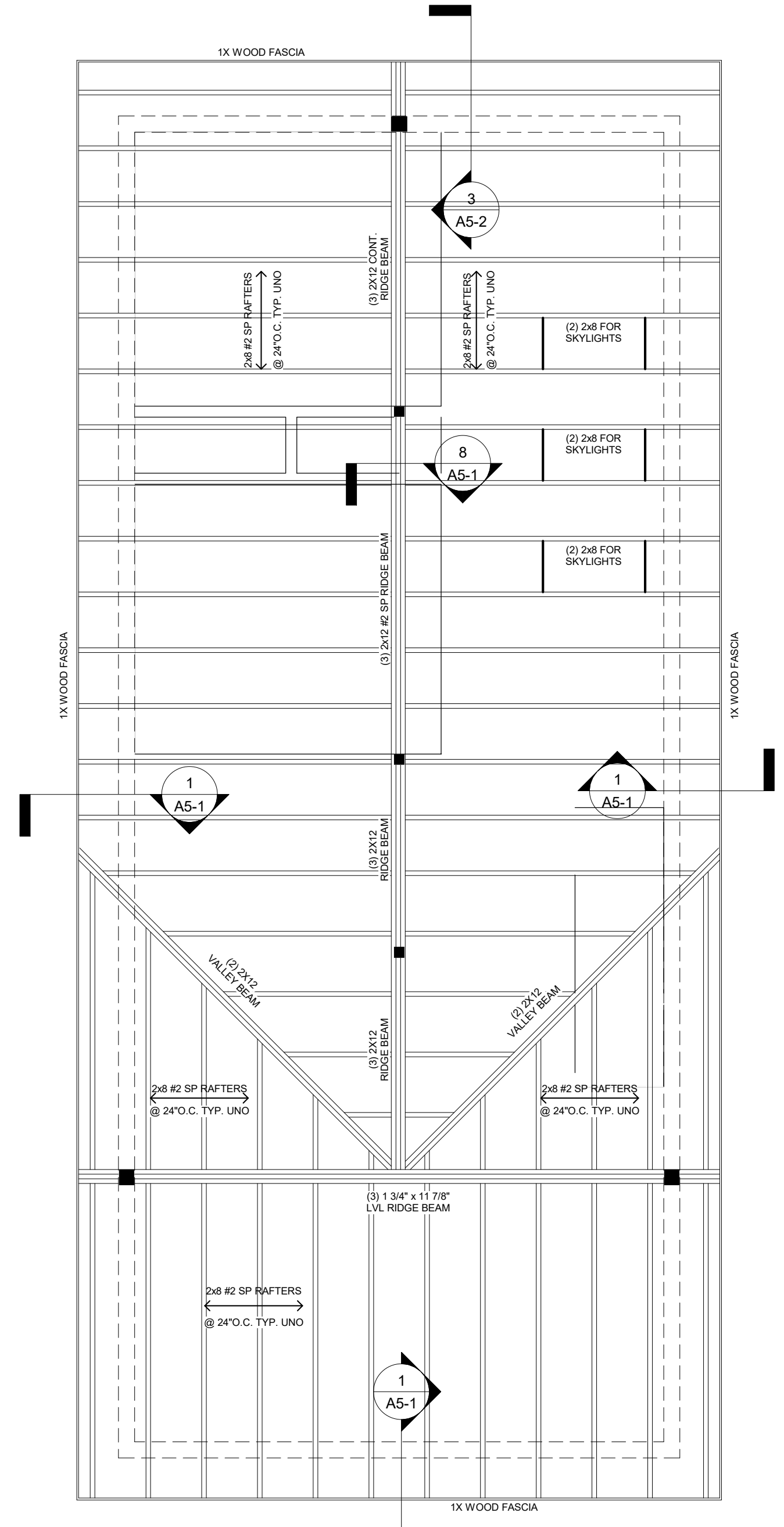
A2-6

ISSUED FOR PERMIT

NOTE:  
ALL WINDOWS & DOOR HEADERS TO BE  
(2) 2x10 SP (U.N.O.)



2 Roof Framing Plan - ADU  
1/4" = 1'-0"

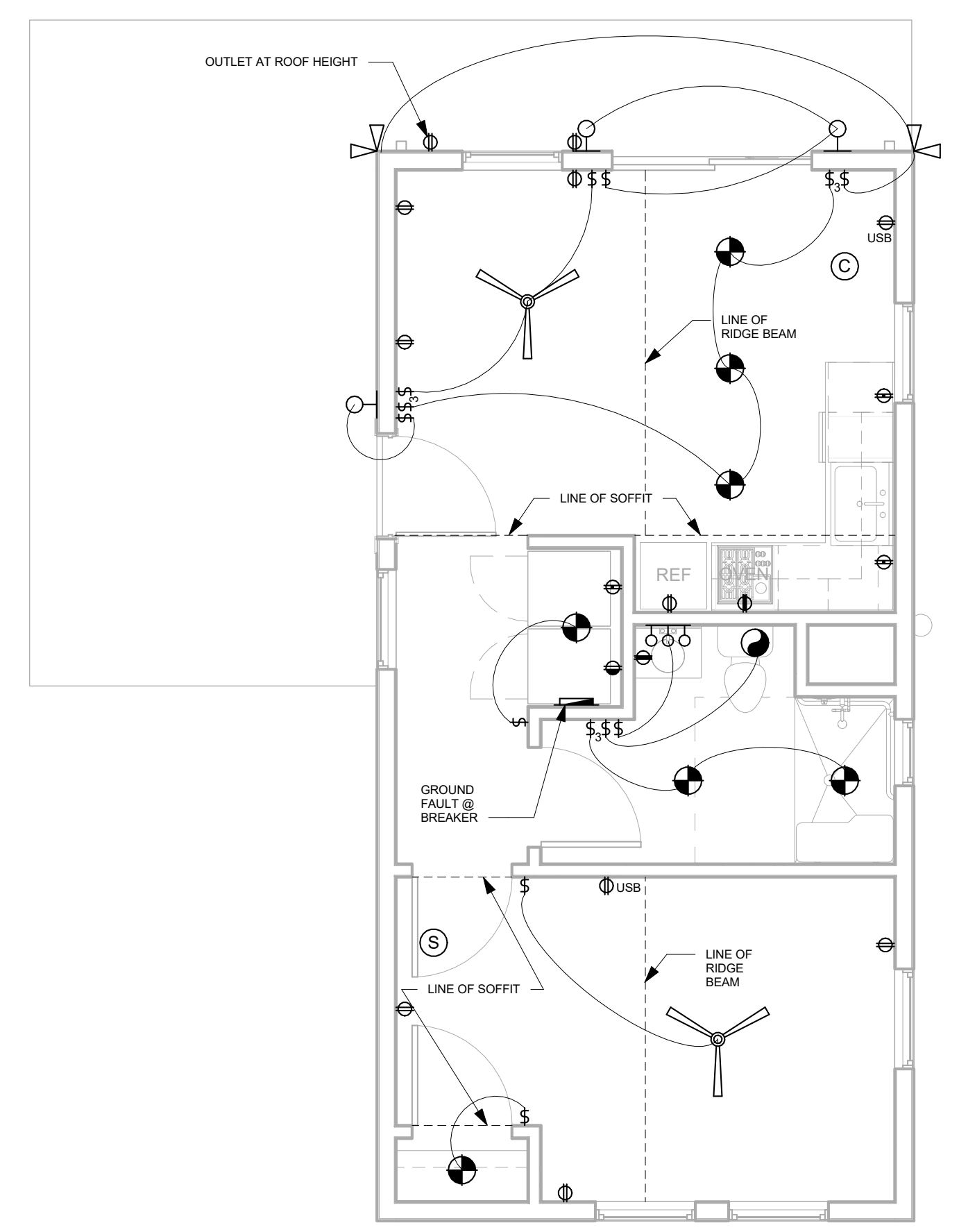


1 Roof Framing Plan - Main Unit  
1/4" = 1'-0"

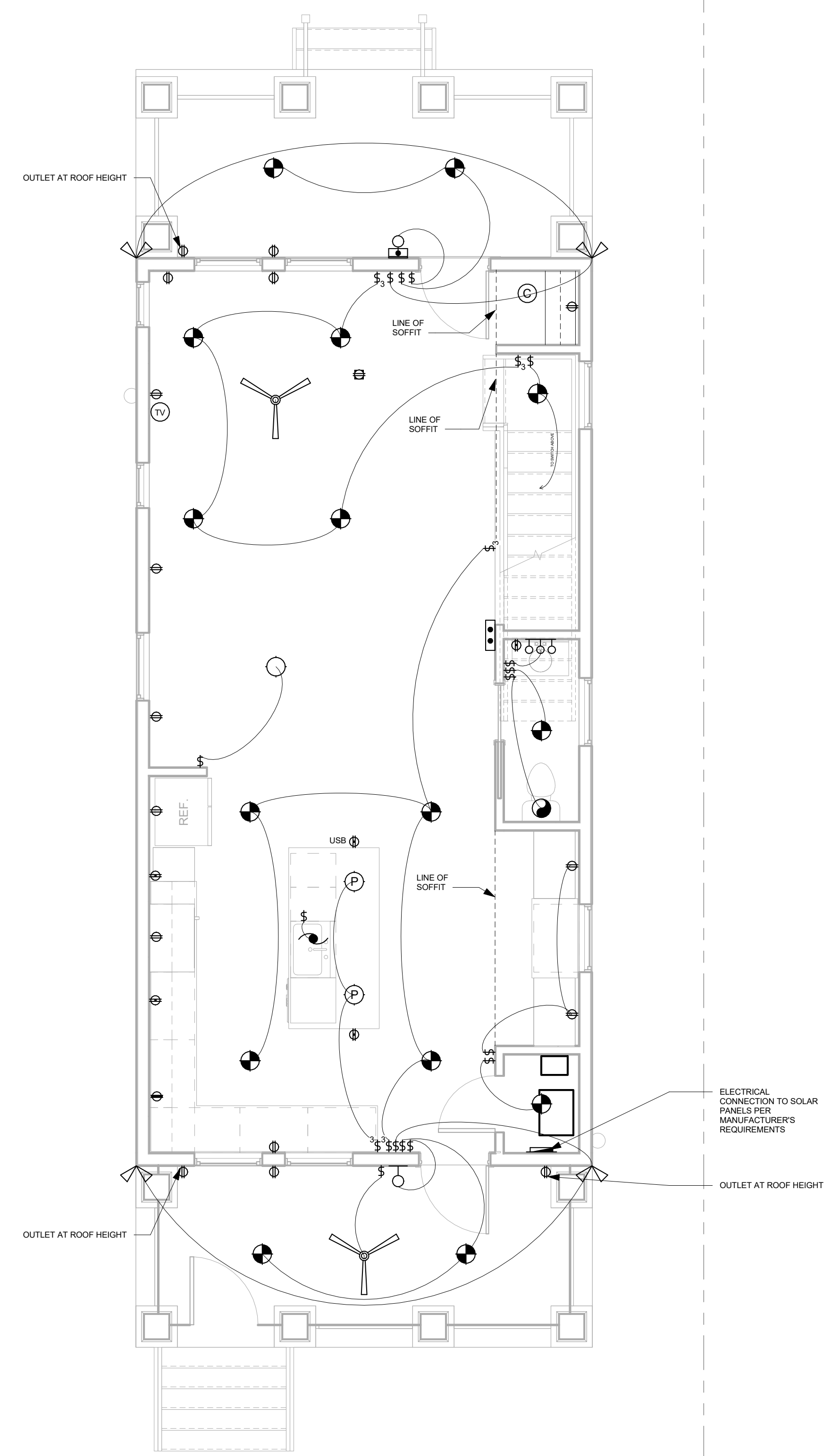
**ELECTRICAL LEGEND**

- \$ SWITCH POLE SWITCH
- \$₃ 3-WAY SWITCH
- \$₄ 4-WAY SWITCH
- ⊕ 110V RECEPTACLE
- ⊕⊖ 110V SWITCHED RECEPTACLE
- ⊕⊖⊖ 110V FLOOR RECEPTACLE
- ⊕⊖⊖⊖ GFCI OUTLET
- ⊖ 220V RECEPTACLE
- Ⓟ PENDANT FIXTURE
- ⊙ RECESSED LIGHT
- WALL FIXTURE
- CEILING FIXTURE
- ☼ BATH EXHAUST FAN & LIGHT
- ▬ STRIP LIGHTING
- ▽ FLOOD LIGHTS
- ⊞ ELECTRICAL PANEL
- ⊞ DISPOSAL
- Ⓢ SMOKE DETECTOR
- ⓈⓈ CARBON/SMOKE DETECTOR
- ⊞ CHIMES
- ⊞ DOOR BELL
- Ⓜ TV JACK
- ⊞ FAN WITH LIGHT

**NOTES:**  
 1. OUTLETS ON ALL WALLS > 2'-0"  
 2. OUTLETS ARE NO MORE THAN 12' APART  
 3. GROUND FAULT AT BREAKER  
 4. SOLAR PANEL INSTALLATION PER MANUFACTURER'S INSTRUCTIONS



2 First Floor Electrical Plan - ADU  
1/4" = 1'-0"



1 First Floor Electrical Plan - Main Unit  
1/4" = 1'-0"

ISSUED FOR PERMIT

ISSUANCE SCHEDULE	
07/13/2022	PERMIT DOCS

REVISION SCHEDULE		
MARK	DATE	DESCRIPTION

PROJECT ID	001
SHEET TITLE	

Second Floor  
Electrical Plans

SHEET NUMBER

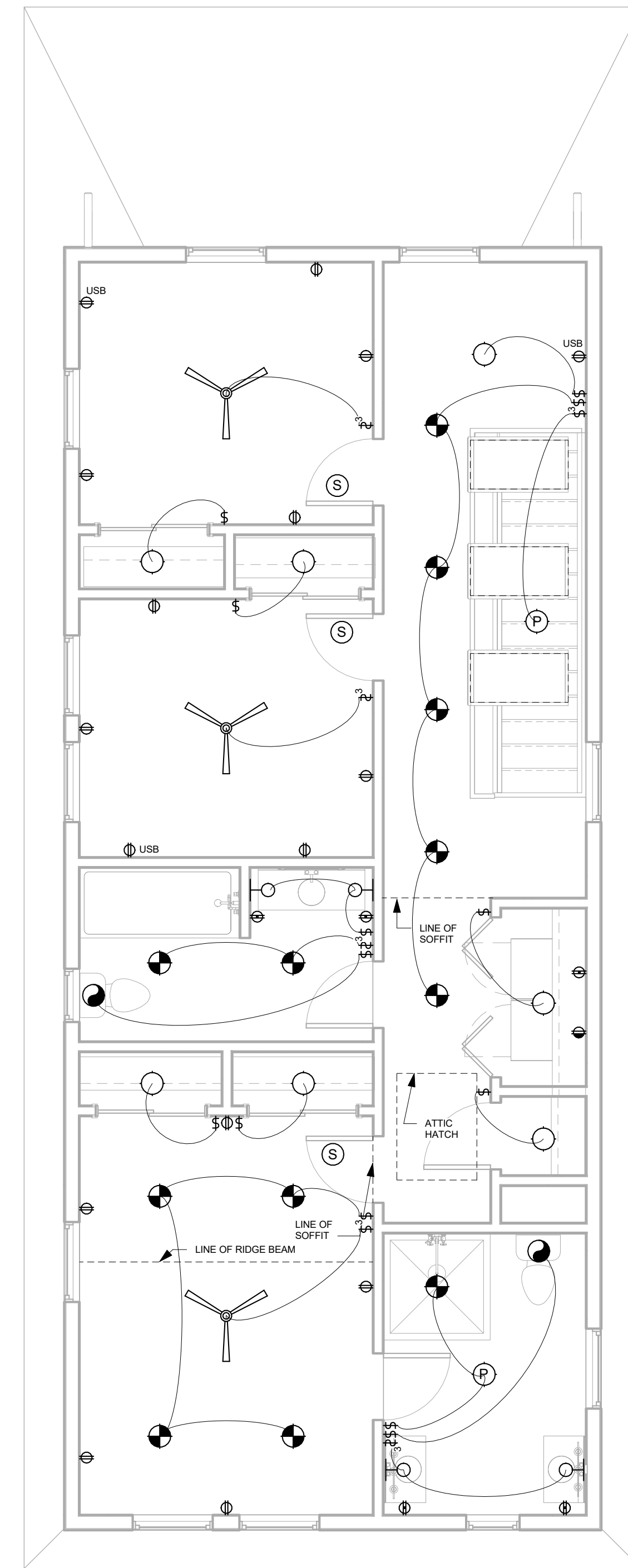
**A2-8**

**ELECTRICAL LEGEND**

- ⌘ SWITCH POLE SWITCH
- ⌘<sub>3</sub> 3-WAY SWITCH
- ⌘<sub>4</sub> 4-WAY SWITCH
- ⊕ 110V RECEPTACLE
- ⊕ 110V SWITCHED RECEPTACLE
- ⊕ 110V FLOOR RECEPTACLE
- ⊕ GFCI OUTLET
- ⊕ 220V RECEPTACLE
- Ⓟ PENDANT FIXTURE
- ⦿ RECESSED LIGHT
- ⦿ WALL FIXTURE
- ⦿ CEILING FIXTURE
- ⦿ BATH EXHAUST FAN & LIGHT
- ▬ STRIP LIGHTING
- ∠ FLOOD LIGHTS
- ▭ ELECTRICAL PANEL
- ⦿ DISPOSAL
- Ⓢ SMOKE DETECTOR
- Ⓢ CARBON/SMOKE DETECTOR
- Ⓢ CHIMES
- Ⓢ DOOR BELL
- Ⓢ TV JACK
- ∠ FAN WITH LIGHT

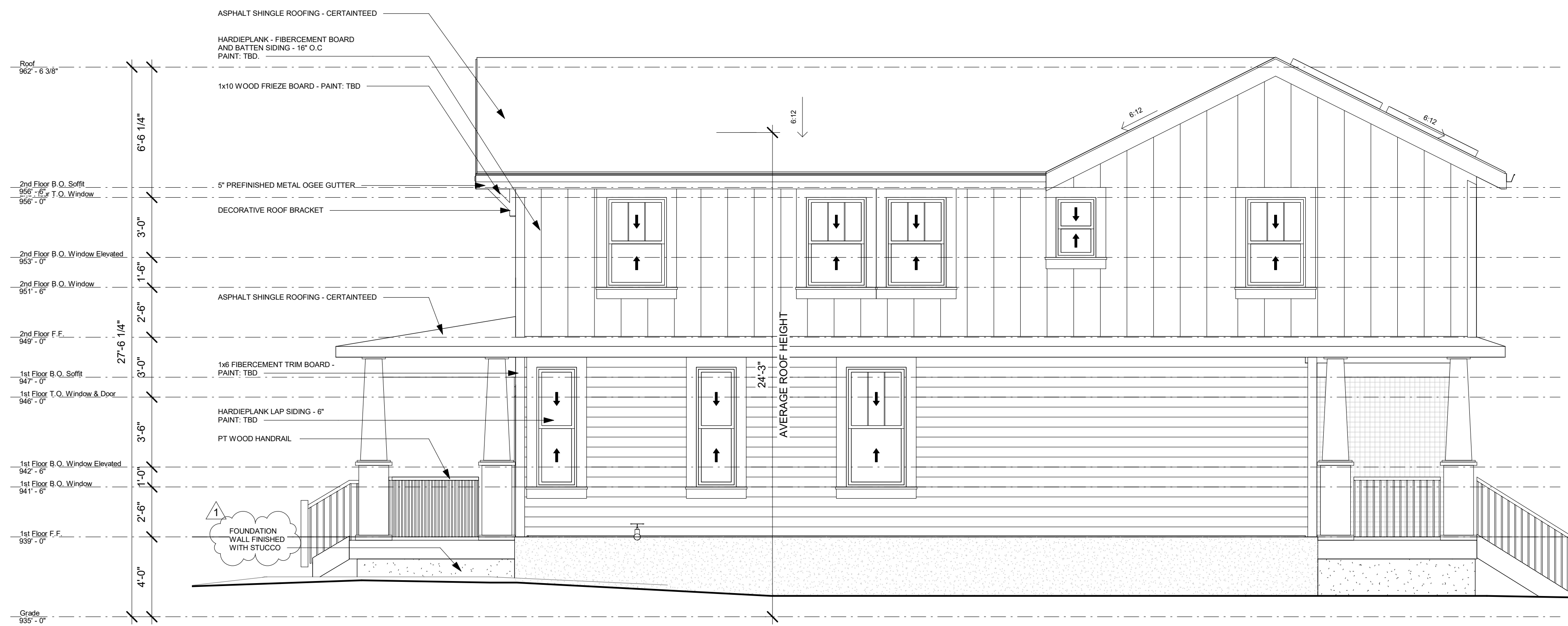
**NOTES:**

1. OUTLETS ON ALL WALLS > 2'-0"
2. OUTLETS ARE NO MORE THAN 12' APART
3. GROUND FAULT AT BREAKER
4. SQUARE PANEL INSTALLATION PER MANUFACTURER'S INSTRUCTIONS

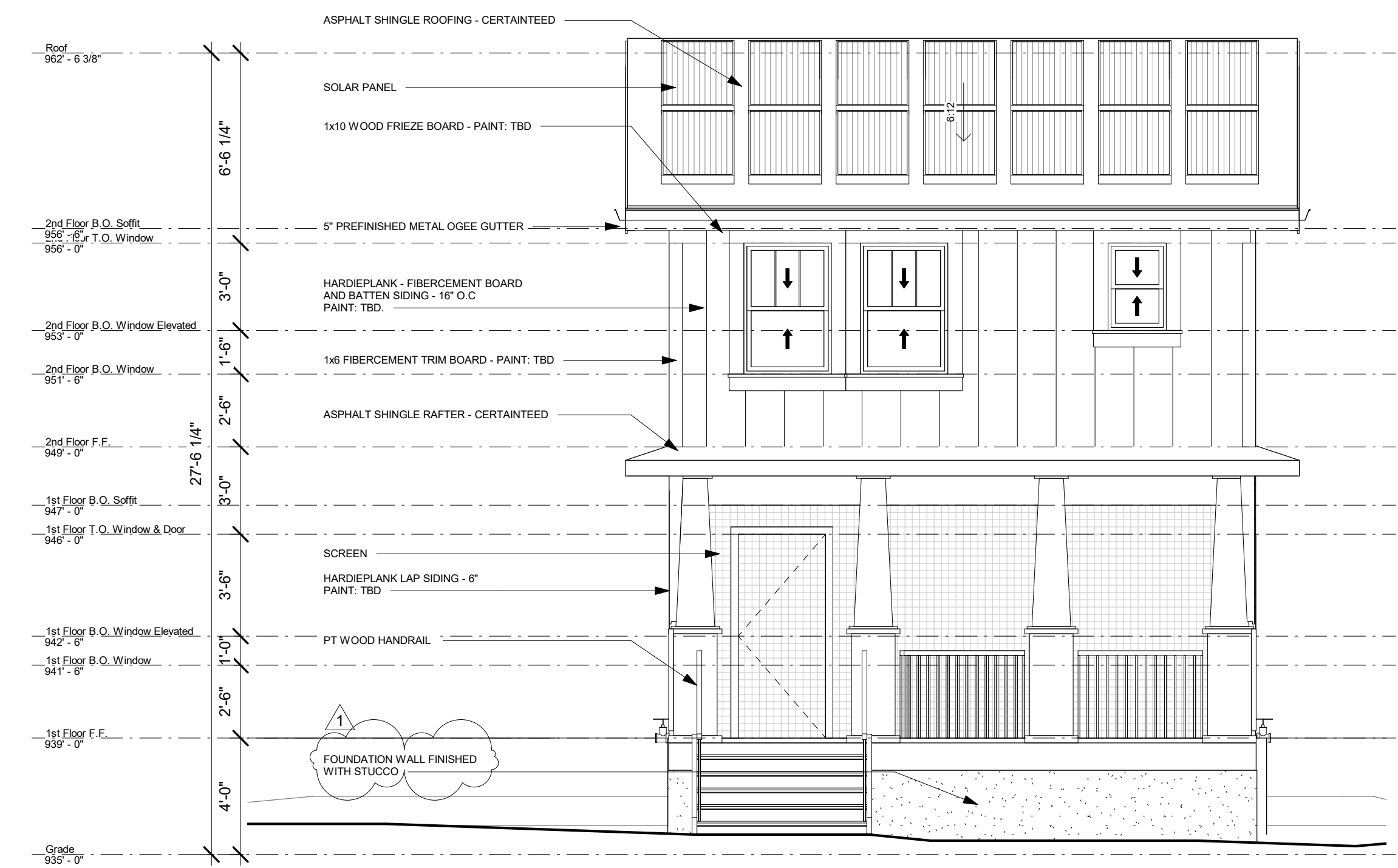


1 Second Floor Electrical Plan - Main Unit  
1/4" = 1'-0"

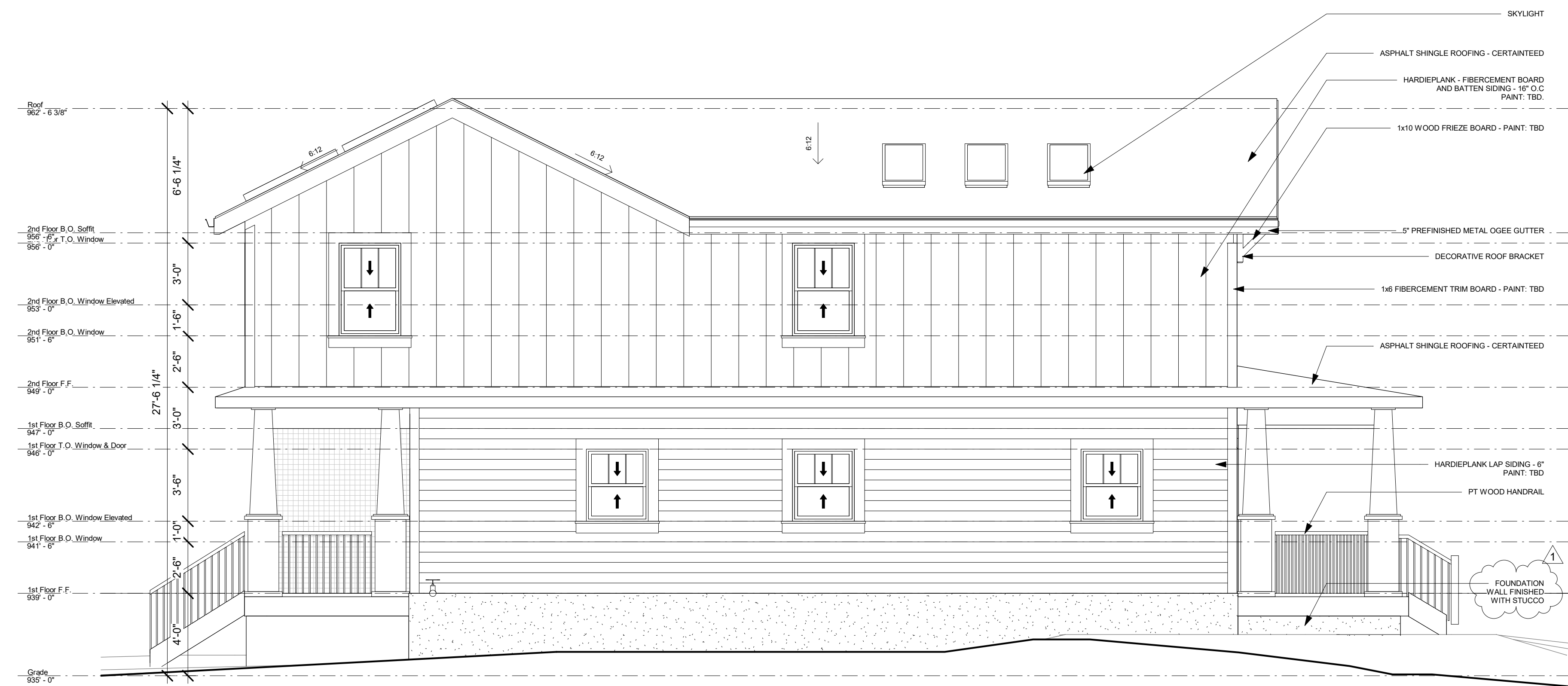
ISSUED FOR PERMIT



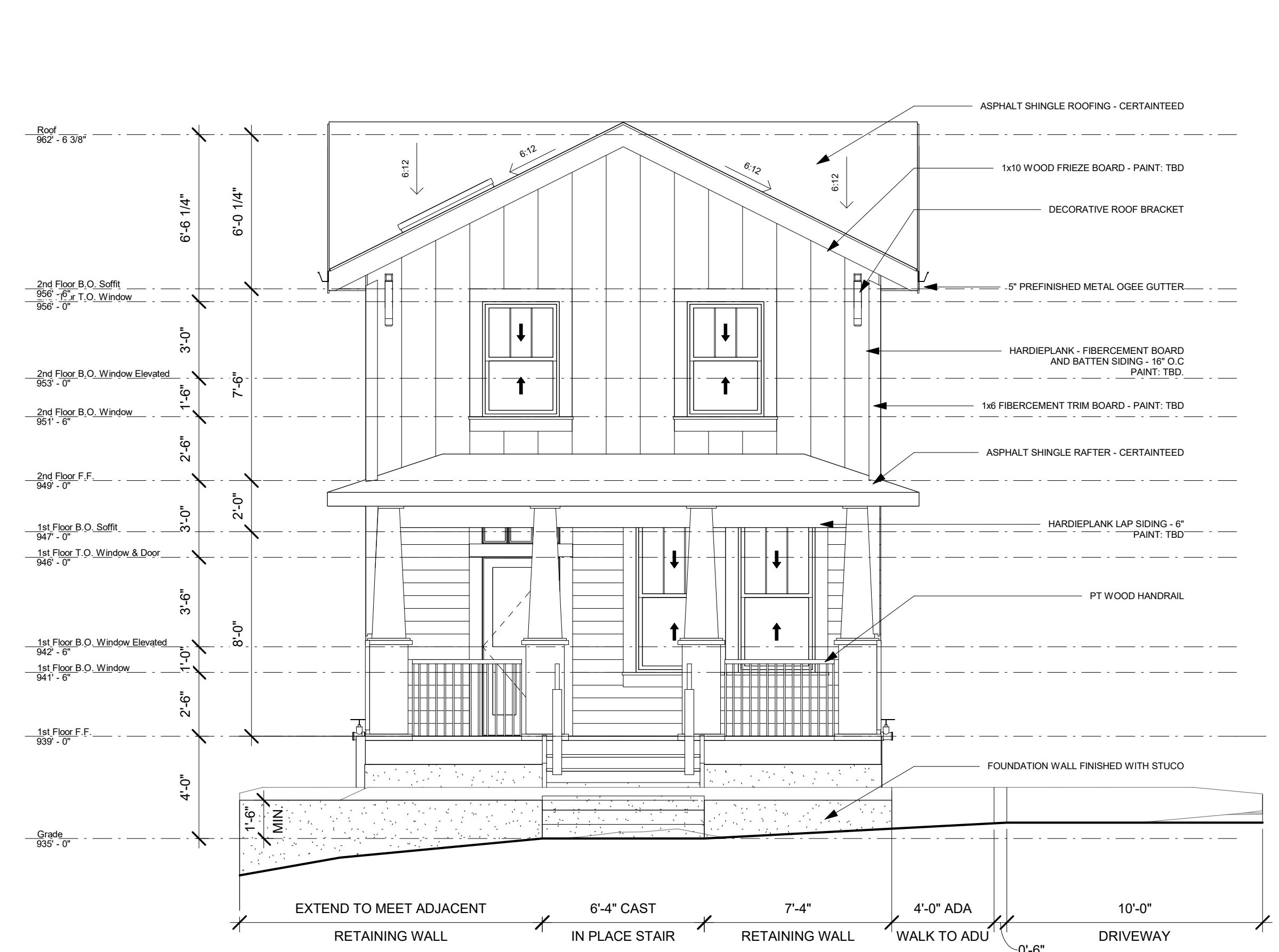
4 Proposed Driveway Elevation - Main Unit  
1/4" = 1'-0"



3 Proposed Rear Elevation - Main Unit  
1/4" = 1'-0"



1 Proposed Sideyard Elevation - Main Unit  
1/4" = 1'-0"



2 Proposed Front Elevation - Main Unit  
1/4" = 1'-0"

THE JETT STREET RESIDENCES

746 JETT STREET  
ATLANTA, GA 30318

ISSUANCE SCHEDULE  
07/13/2022 PERMIT DOCS

REVISION SCHEDULE  
MARK DATE DESCRIPTION  
1 09/27/2022 REVISED PERMIT DOCS V2

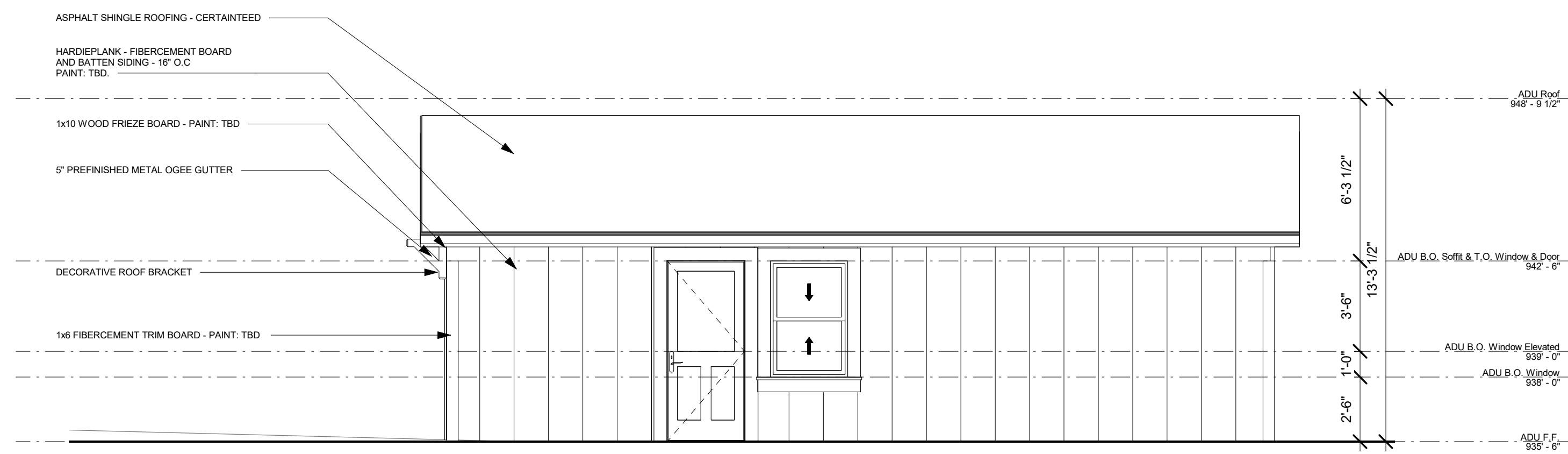
PROJECT ID 001  
SHEET TITLE

Proposed Exterior Elevations

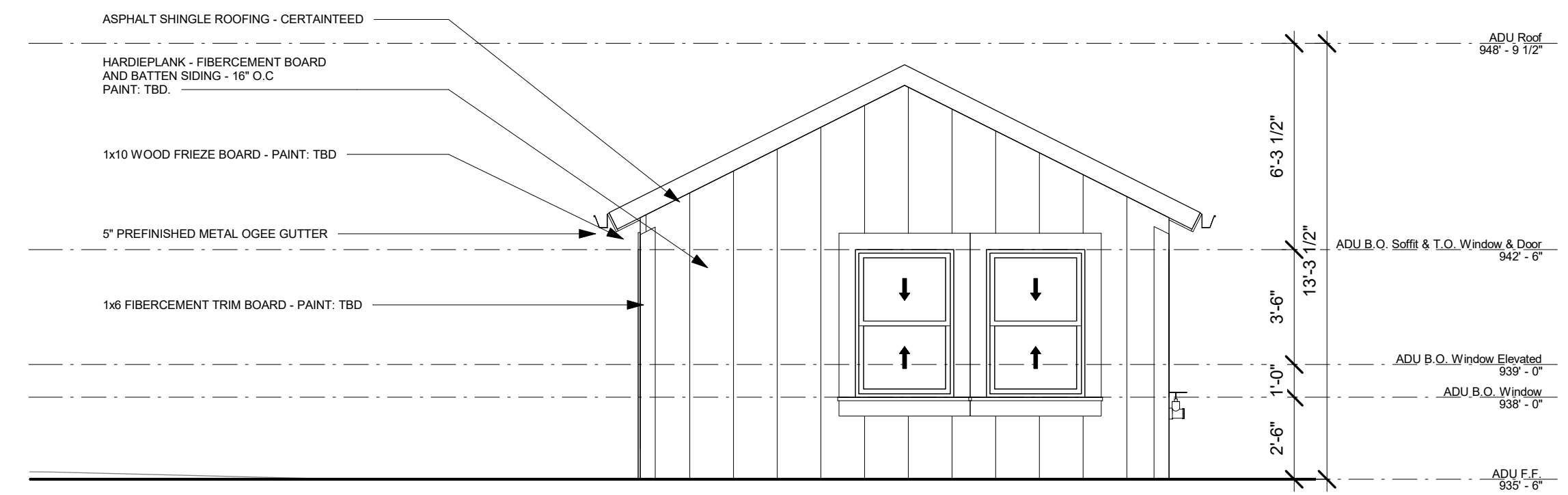
SHEET NUMBER

ISSUED FOR PERMIT

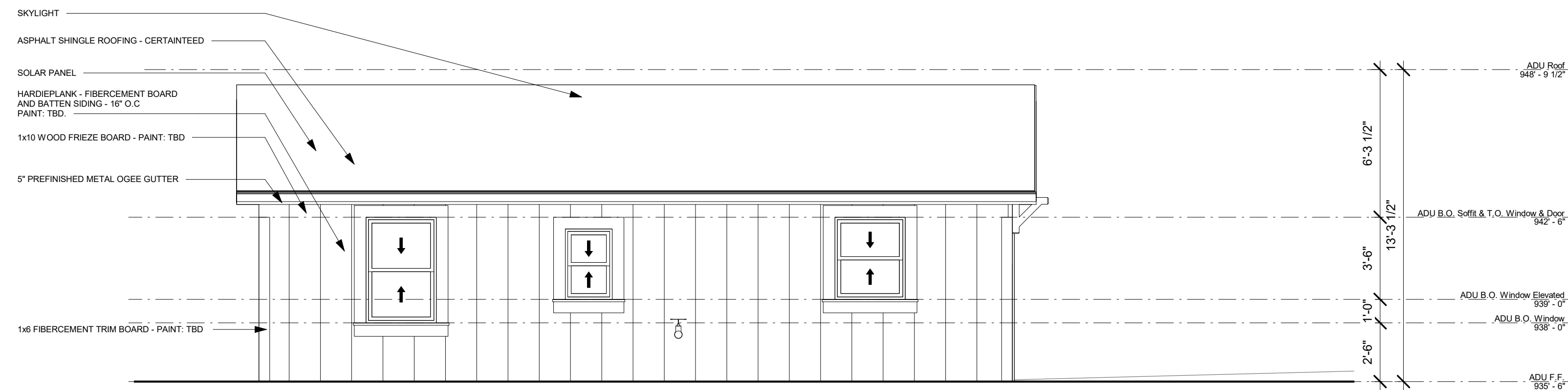
A3-1



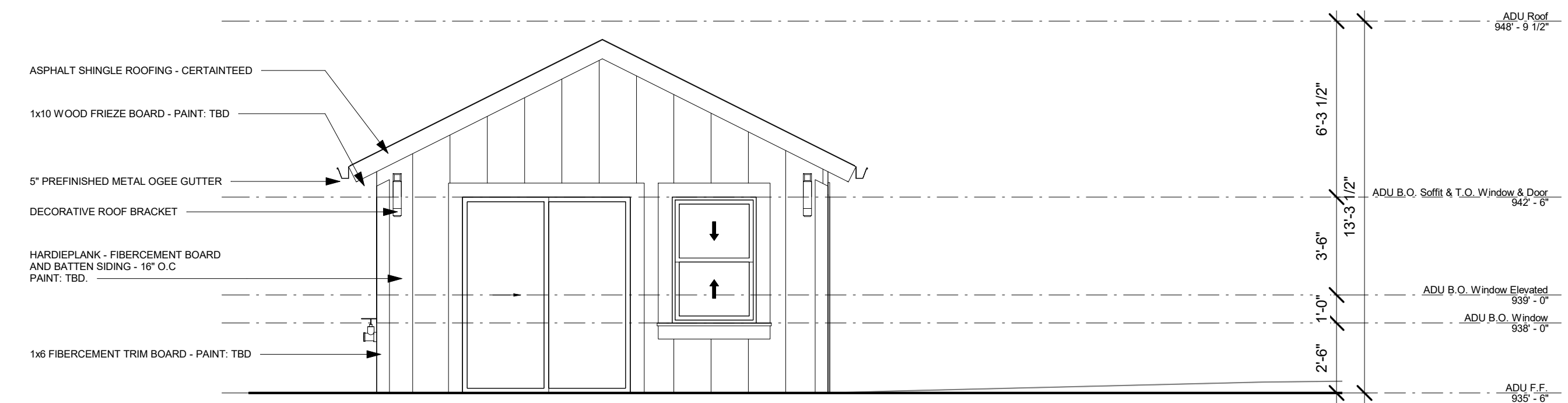
④ Proposed Driveway Elevation - ADU  
1/4" = 1'-0"



③ Proposed Rear Elevation - ADU  
1/4" = 1'-0"



② Proposed Sideyard Elevation - ADU  
1/4" = 1'-0"



① Proposed Front Elevation - ADU  
1/4" = 1'-0"

THE JETT STREET RESIDENCES

746 JETT STREET  
ATLANTA, GA 30318

ISSUANCE SCHEDULE  
07/13/2022 PERMIT DOCS

REVISION SCHEDULE  
MARK DATE DESCRIPTION

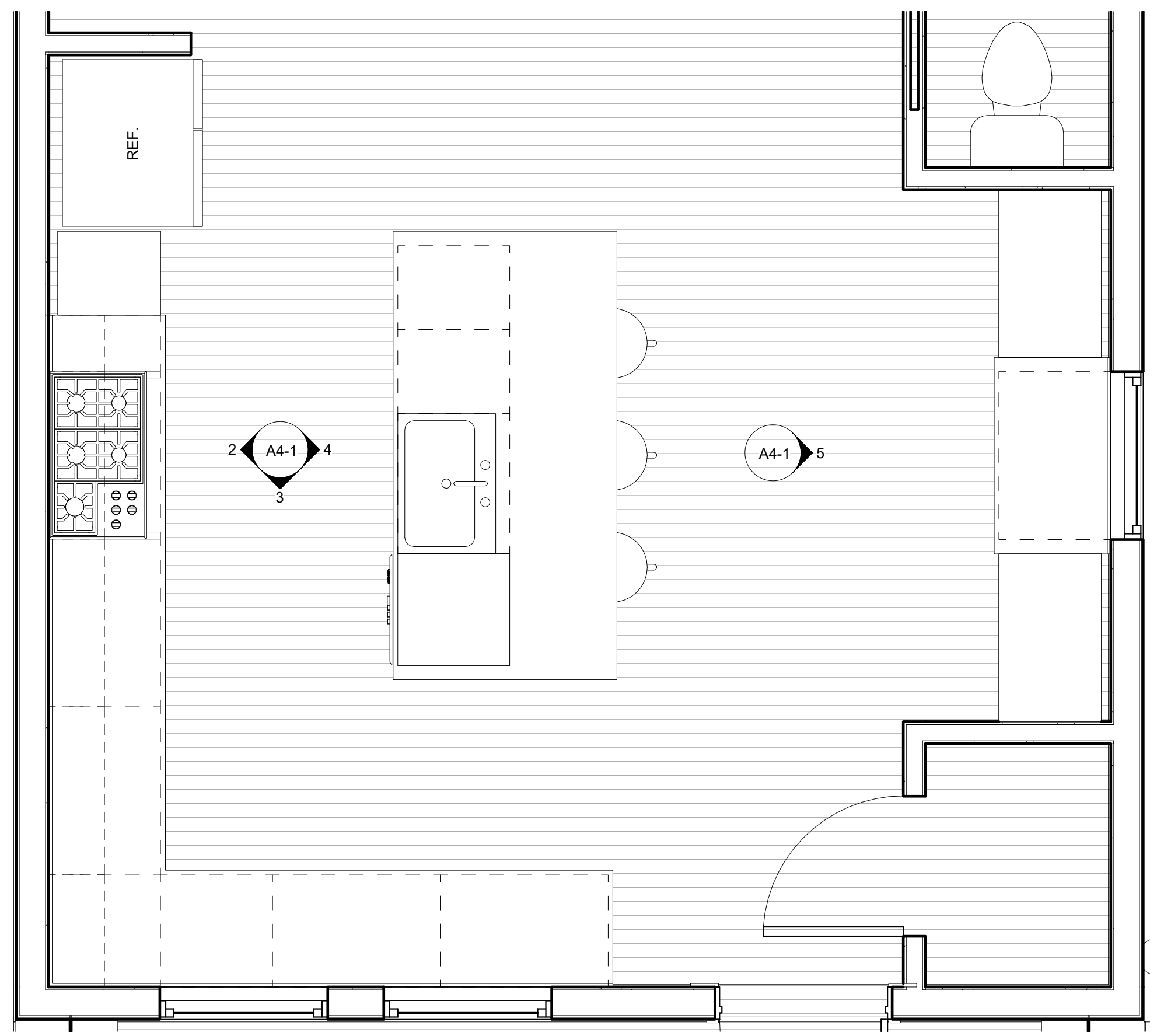
PROJECT ID 001  
SHEET TITLE

Proposed  
Exterior  
Elevations

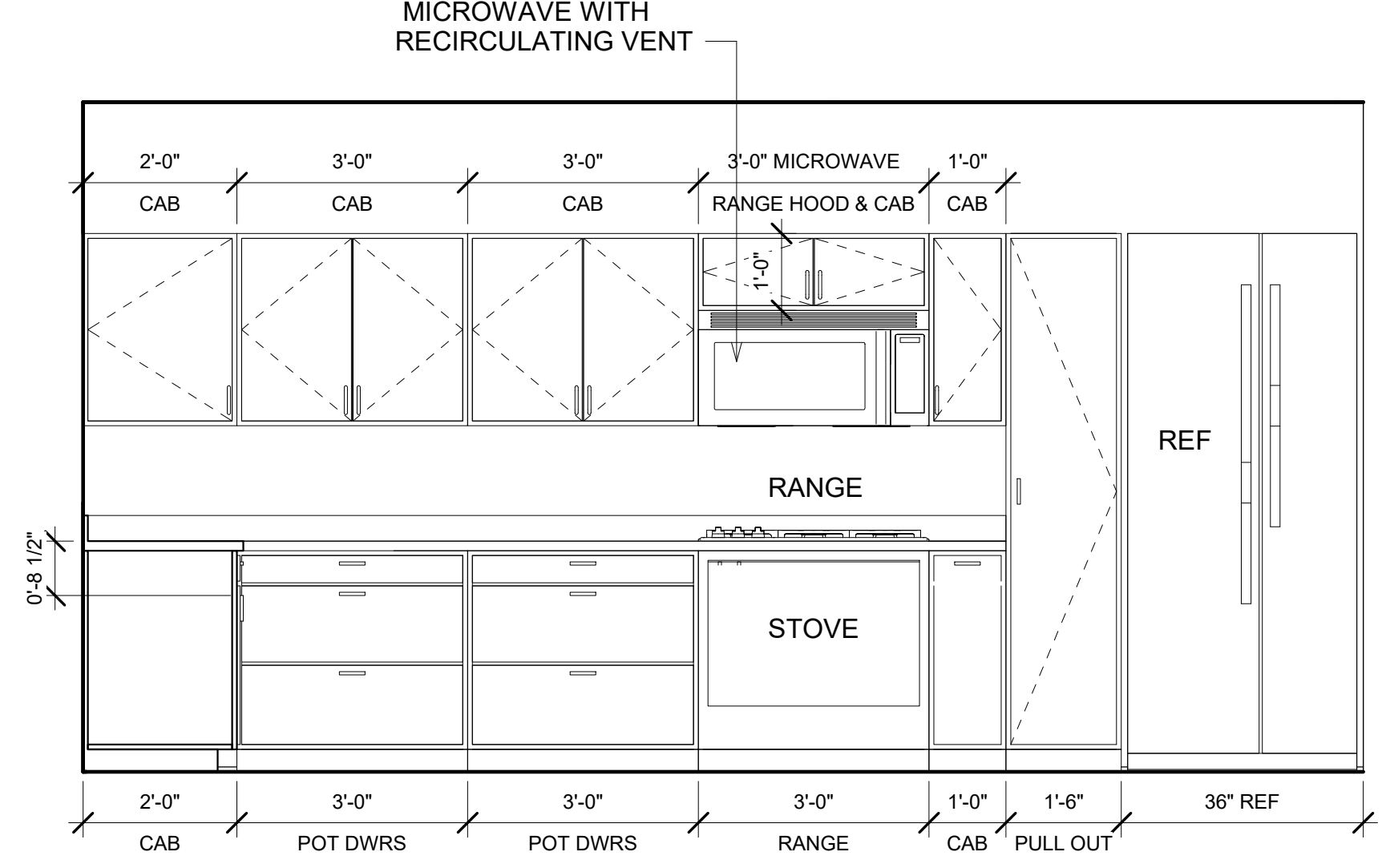
SHEET NUMBER

ISSUED FOR PERMIT

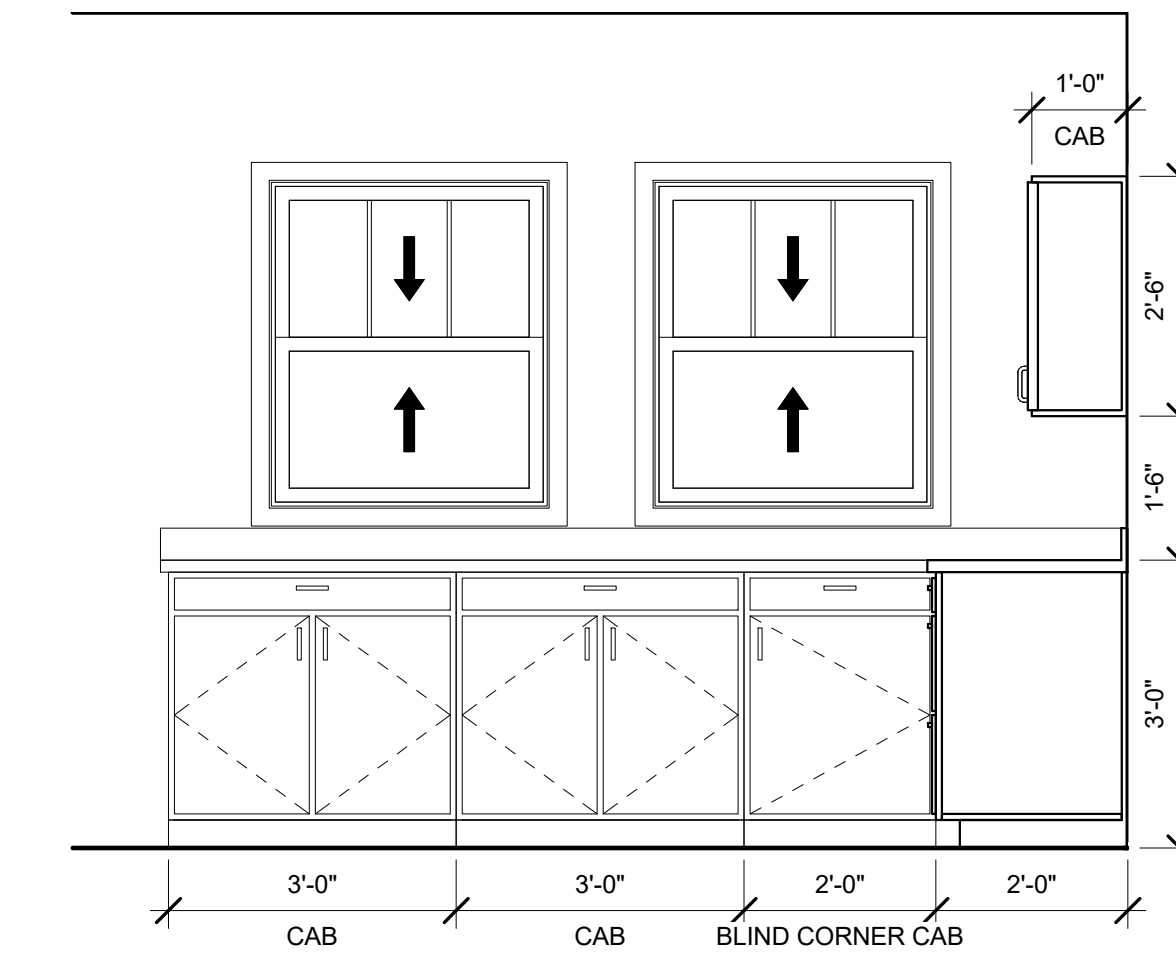
A3-2



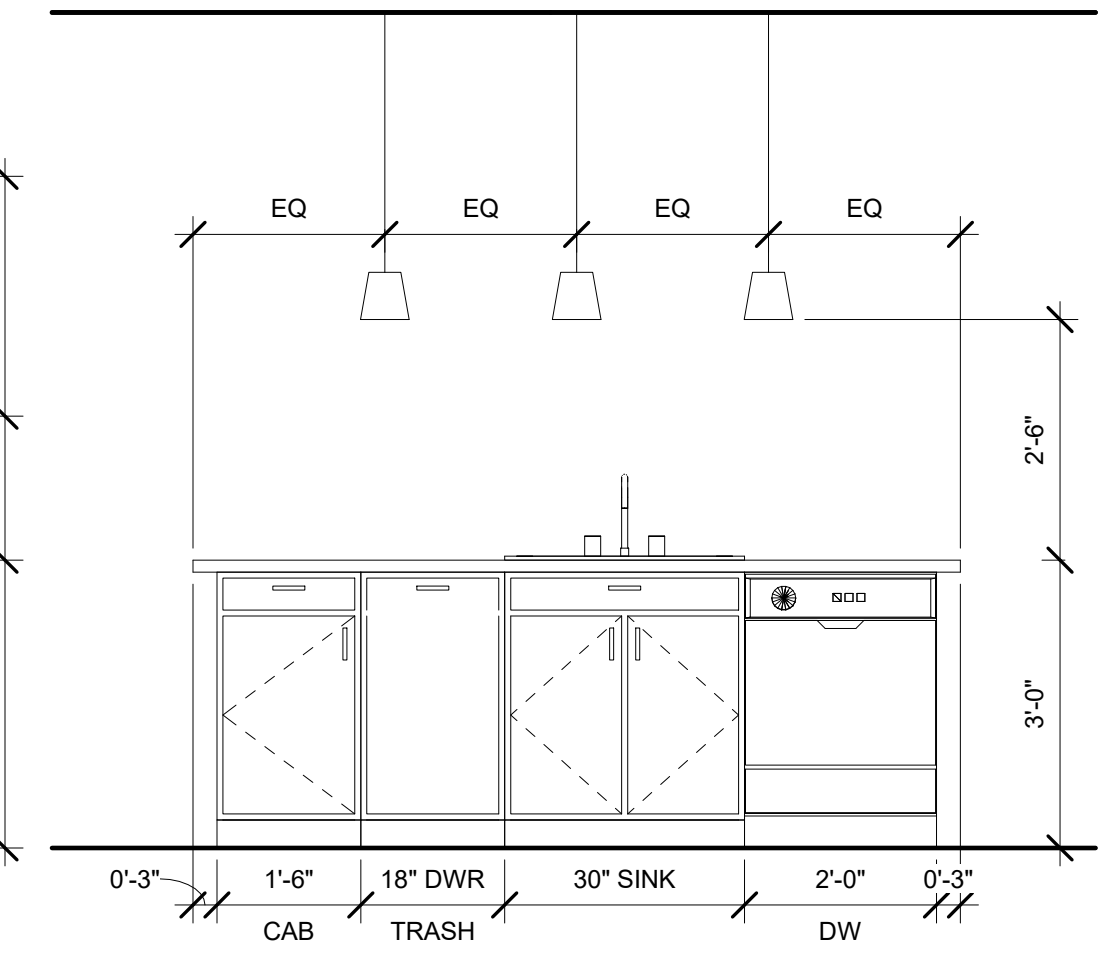
1 Main Unit Kitchen Detail Plan  
1/2" = 1'-0"



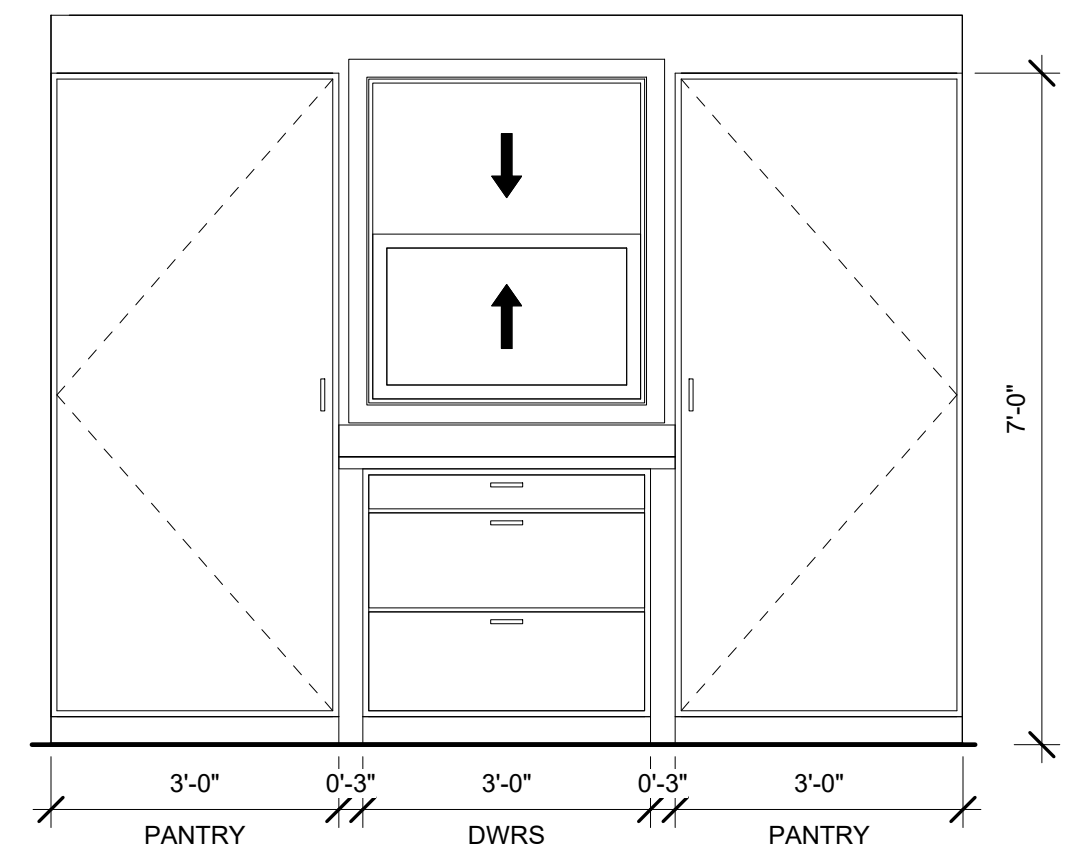
2 Main Unit Kitchen Elevation 1  
1/2" = 1'-0"



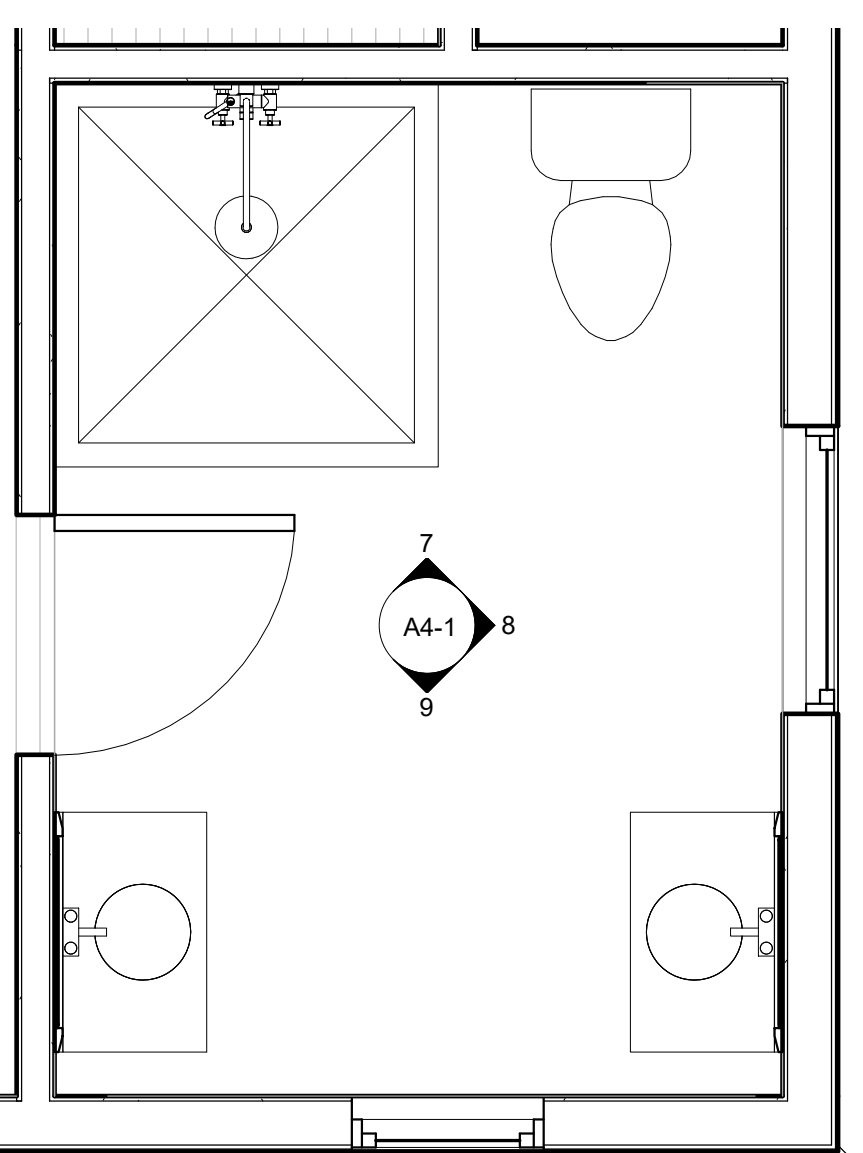
3 Main Unit Kitchen Elevation 2  
1/2" = 1'-0"



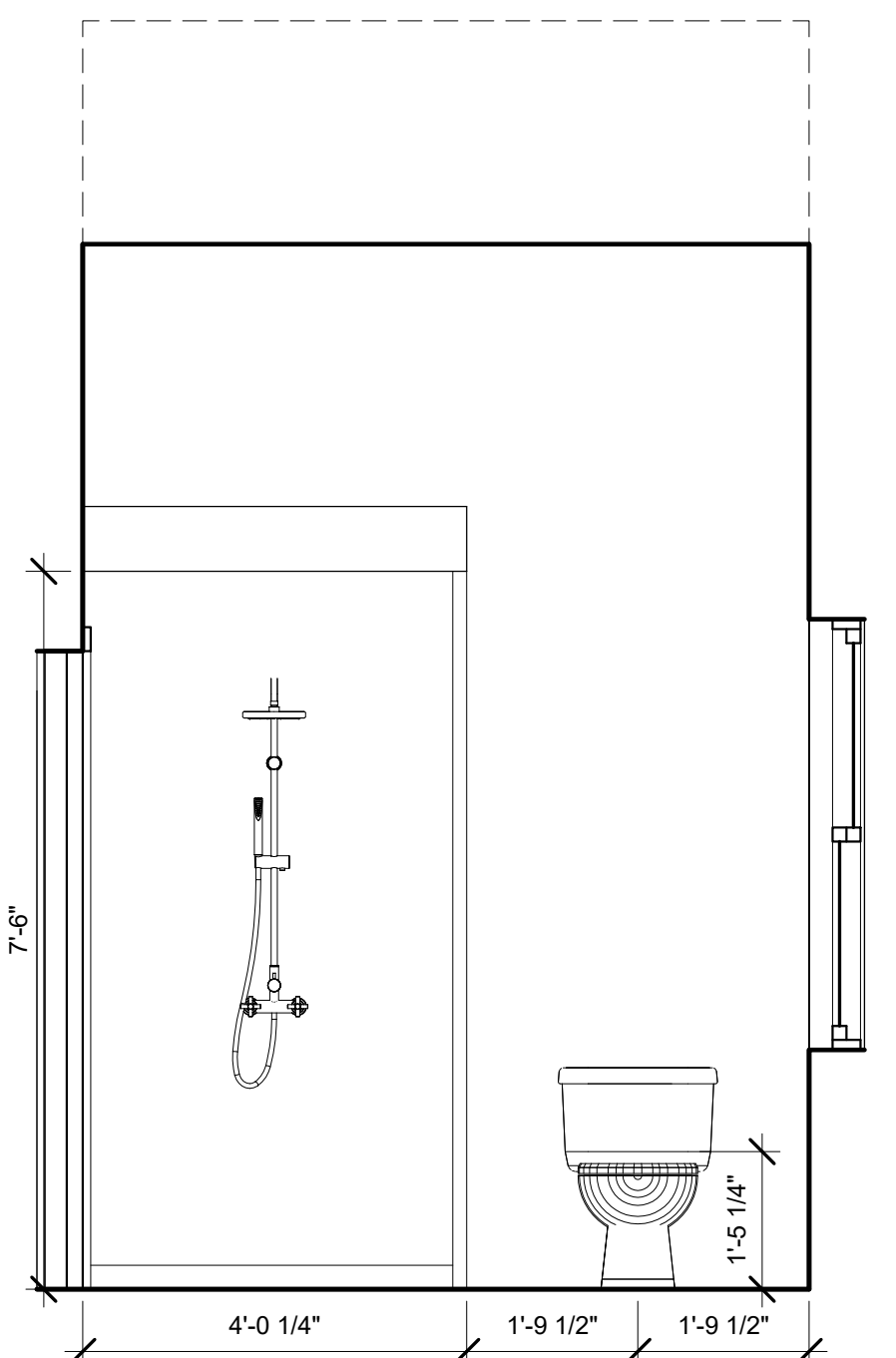
4 Main Unit Kitchen Elevation 3  
1/2" = 1'-0"



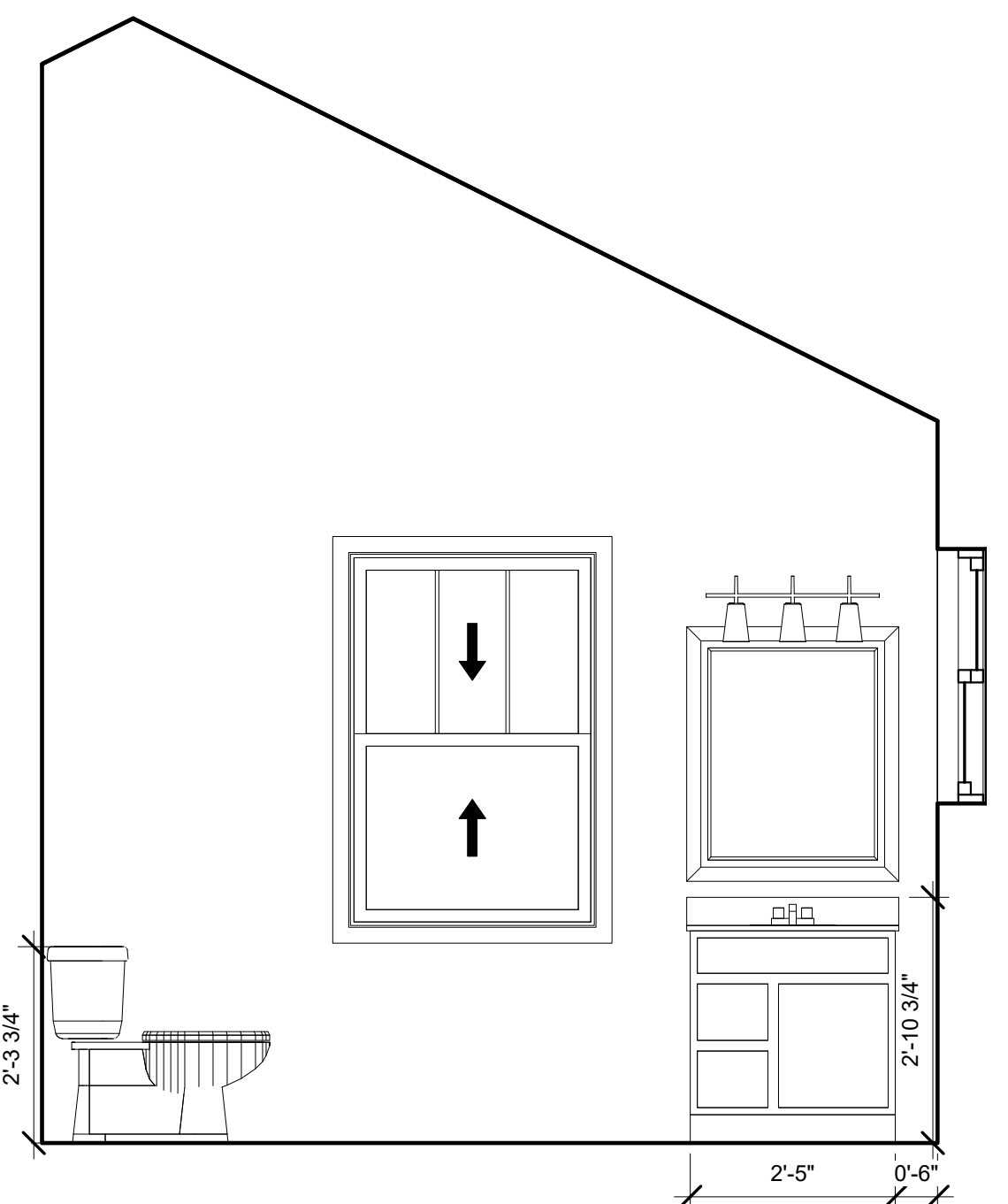
5 Main Unit Kitchen Elevation 4  
1/2" = 1'-0"



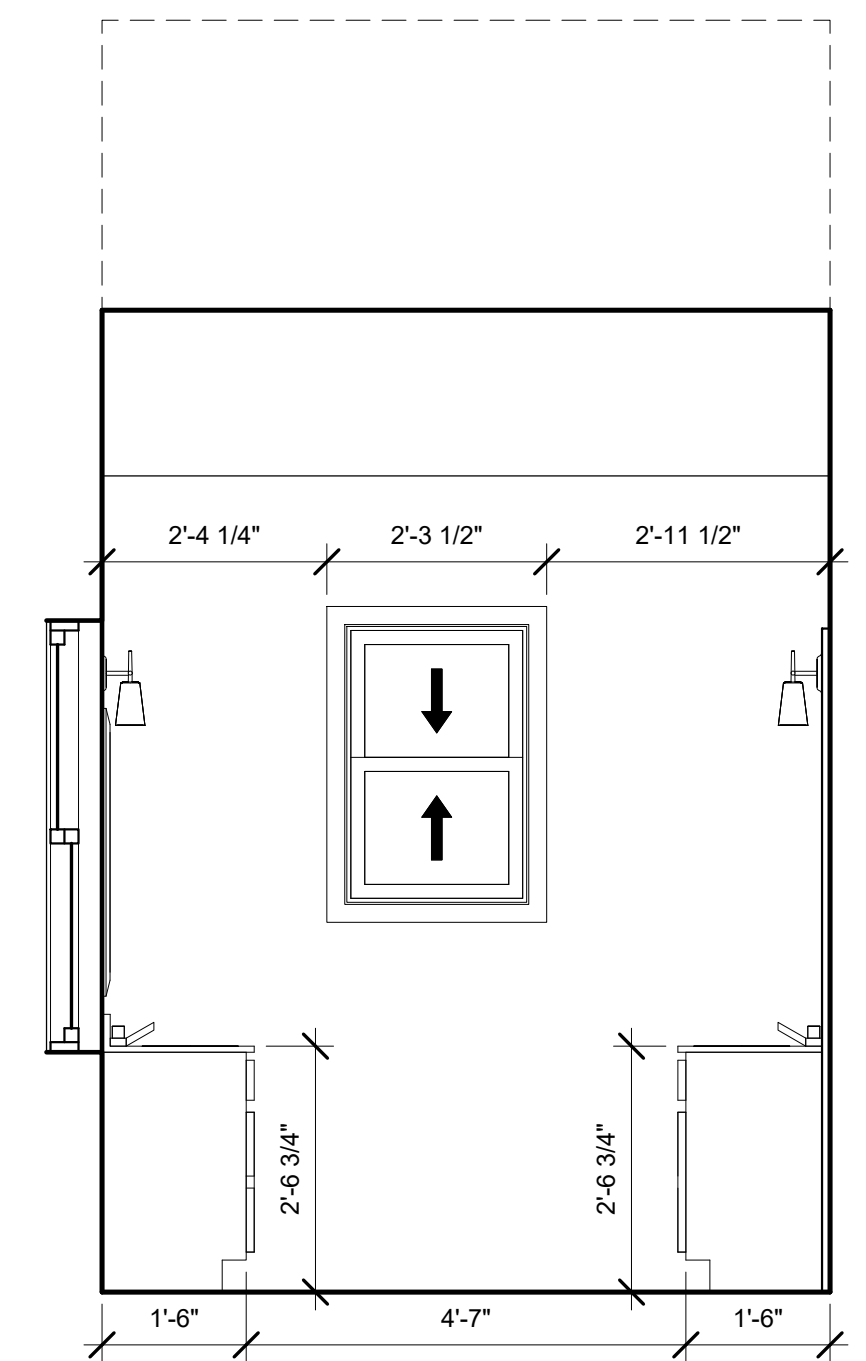
6 Main Unit Main Bath Detail Plan  
1/2" = 1'-0"



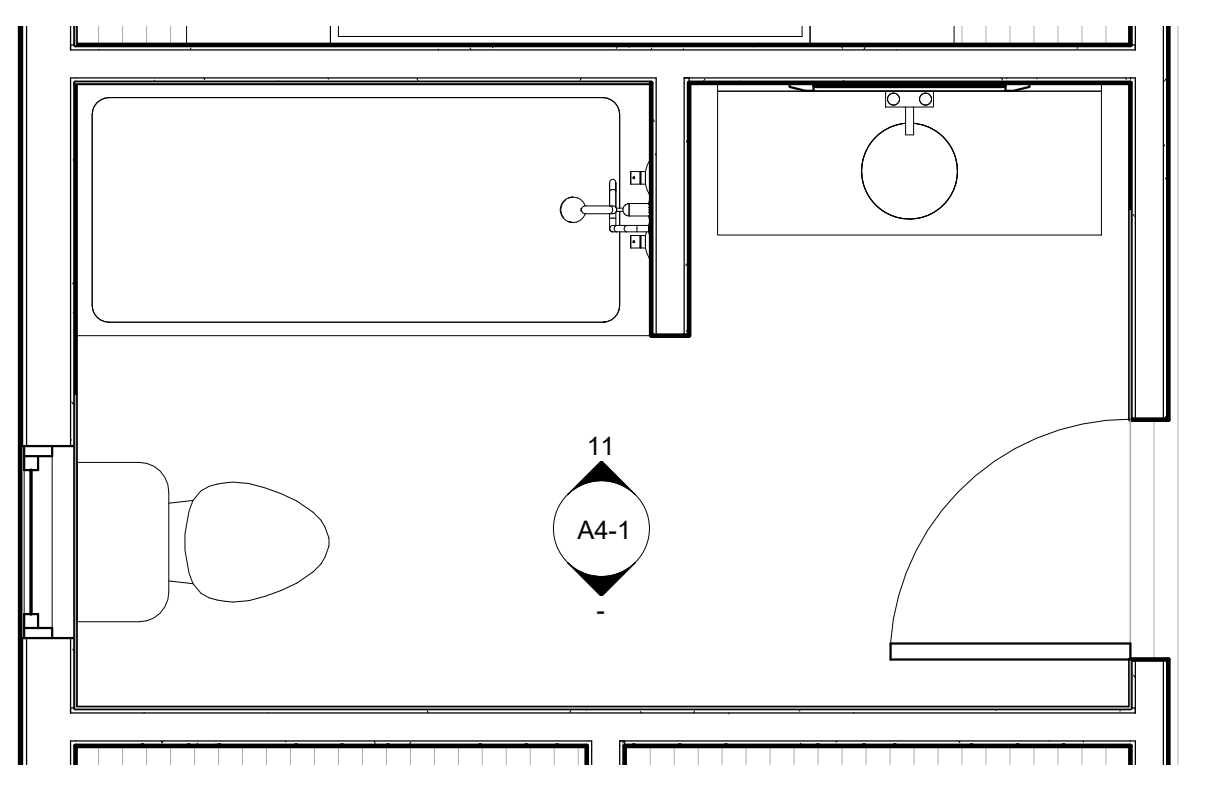
7 Main Unit Main Bath Elevation 1  
1/2" = 1'-0"



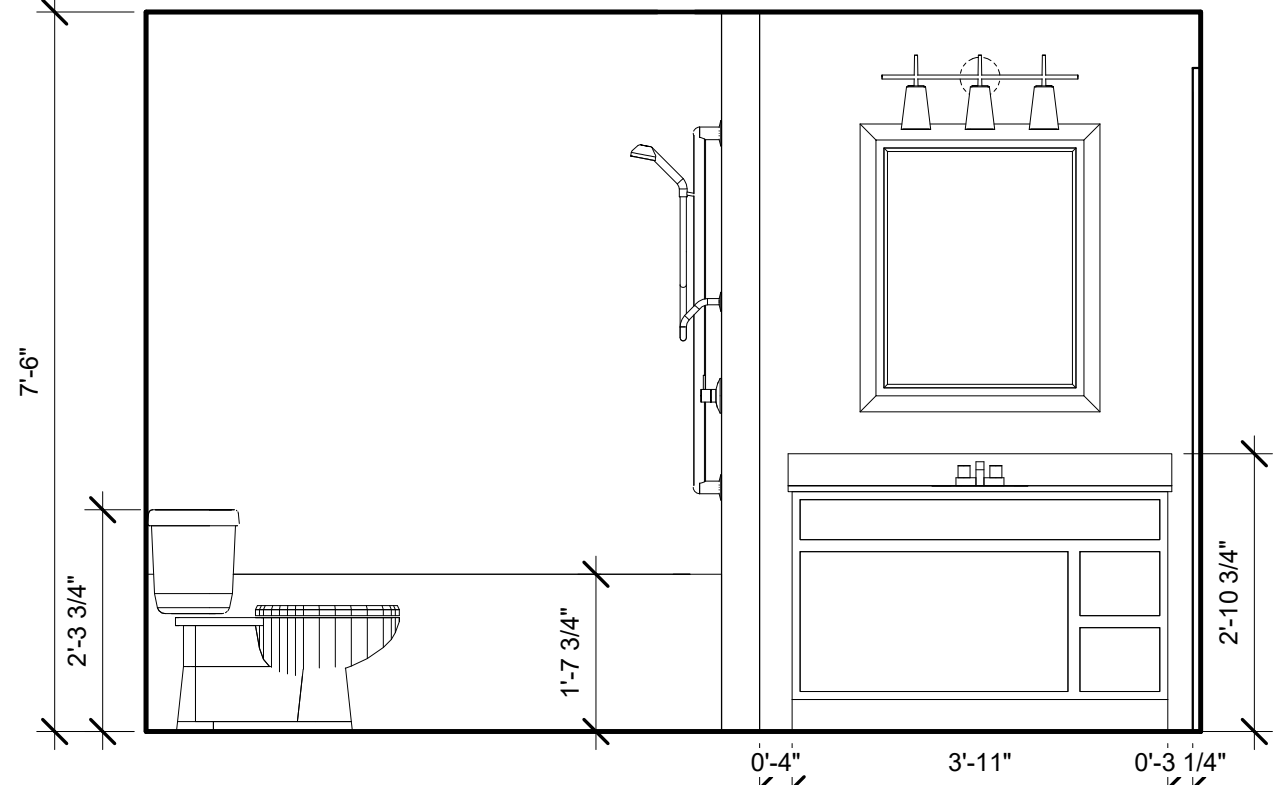
8 Main Unit Main Bath Elevation 2  
1/2" = 1'-0"



9 Main Unit Main Bath Elevation 3  
1/2" = 1'-0"



10 Main Unit Bath Detail Plan  
1/2" = 1'-0"



11 Main Unit Bath Elevation 1  
1/2" = 1'-0"

THE JETT STREET RESIDENCES

746 JETT STREET  
ATLANTA, GA 30318

ISSUANCE SCHEDULE  
07/13/2022 PERMIT DOCS

REVISION SCHEDULE  
MARK DATE DESCRIPTION

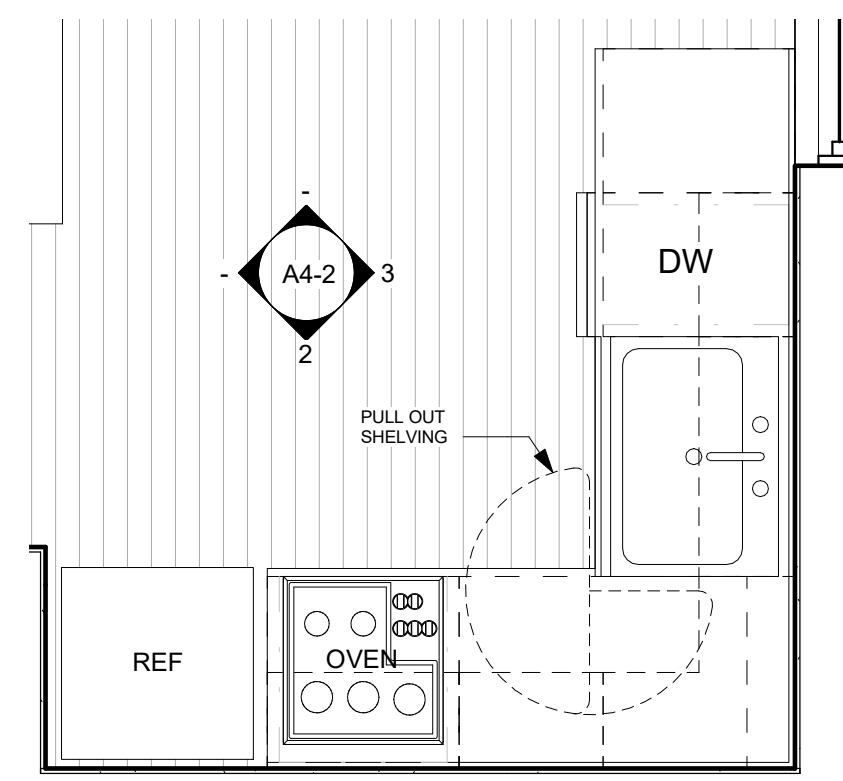
PROJECT ID 001  
SHEET TITLE

Interior Elevations

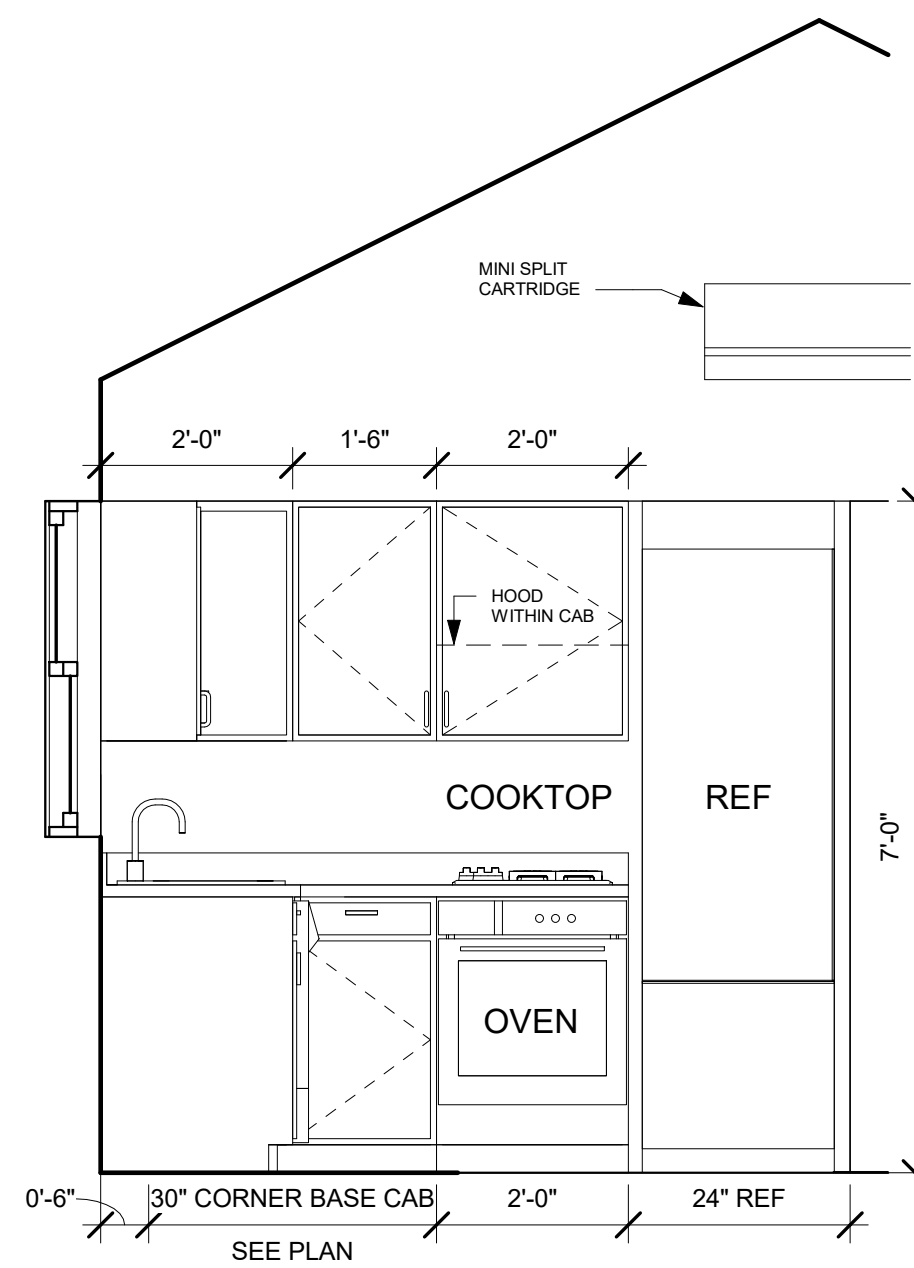
SHEET NUMBER

ISSUED FOR PERMIT

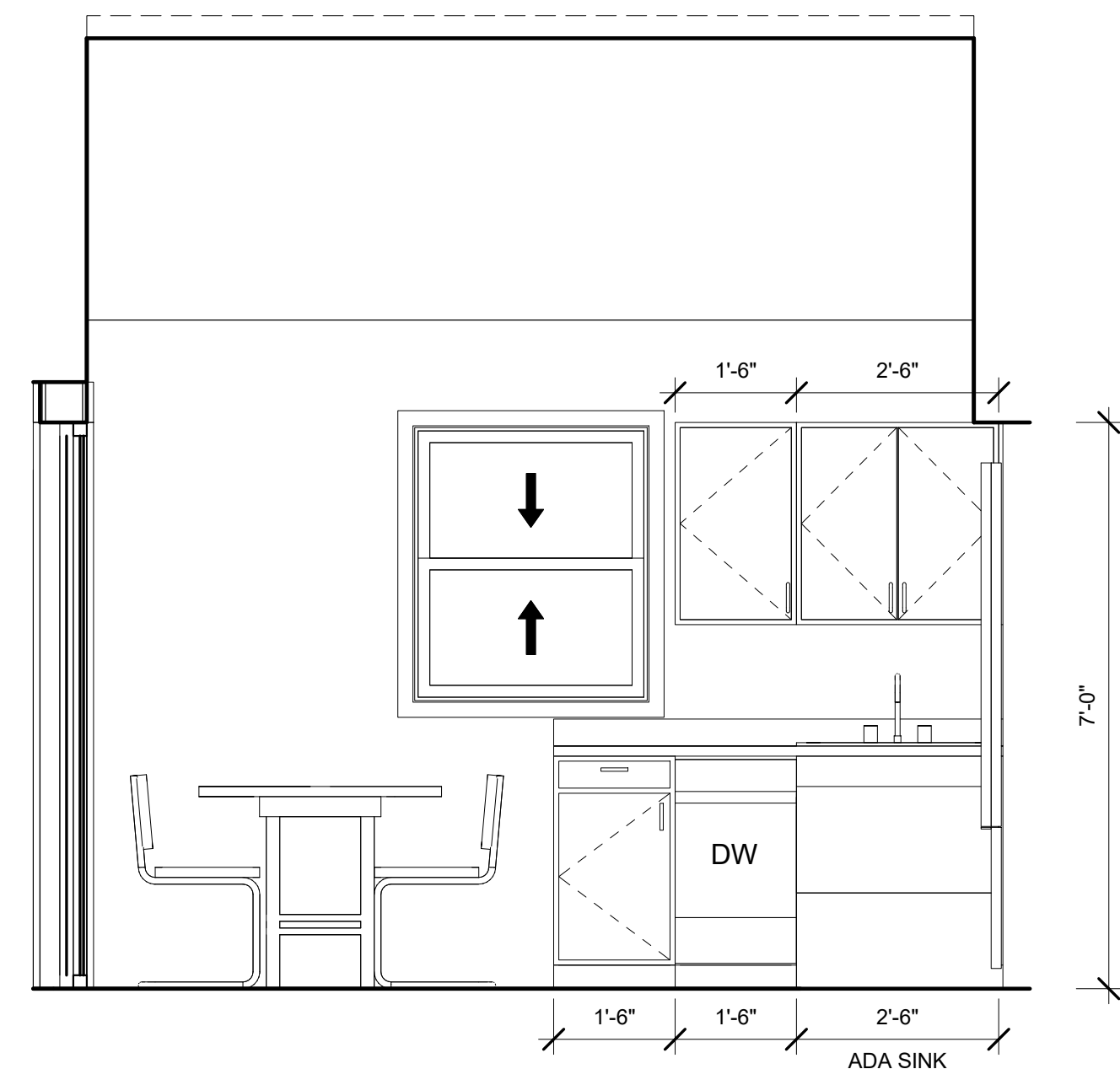
A4-1



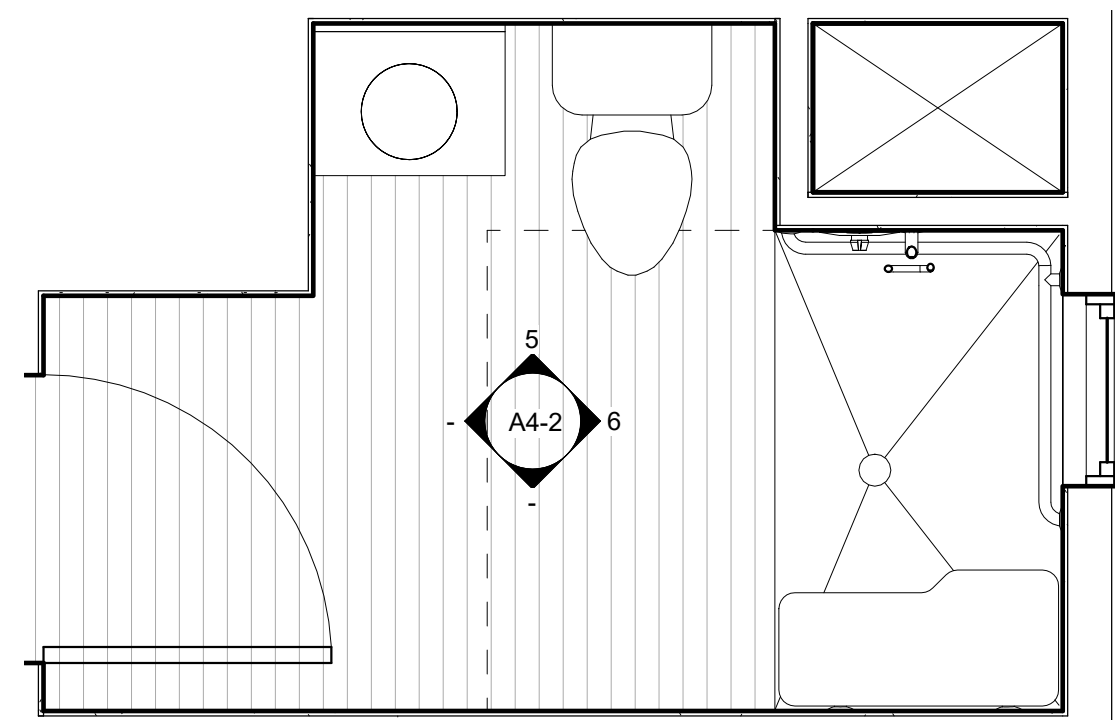
① ADU Kitchen Detail Plan  
1/2" = 1'-0"



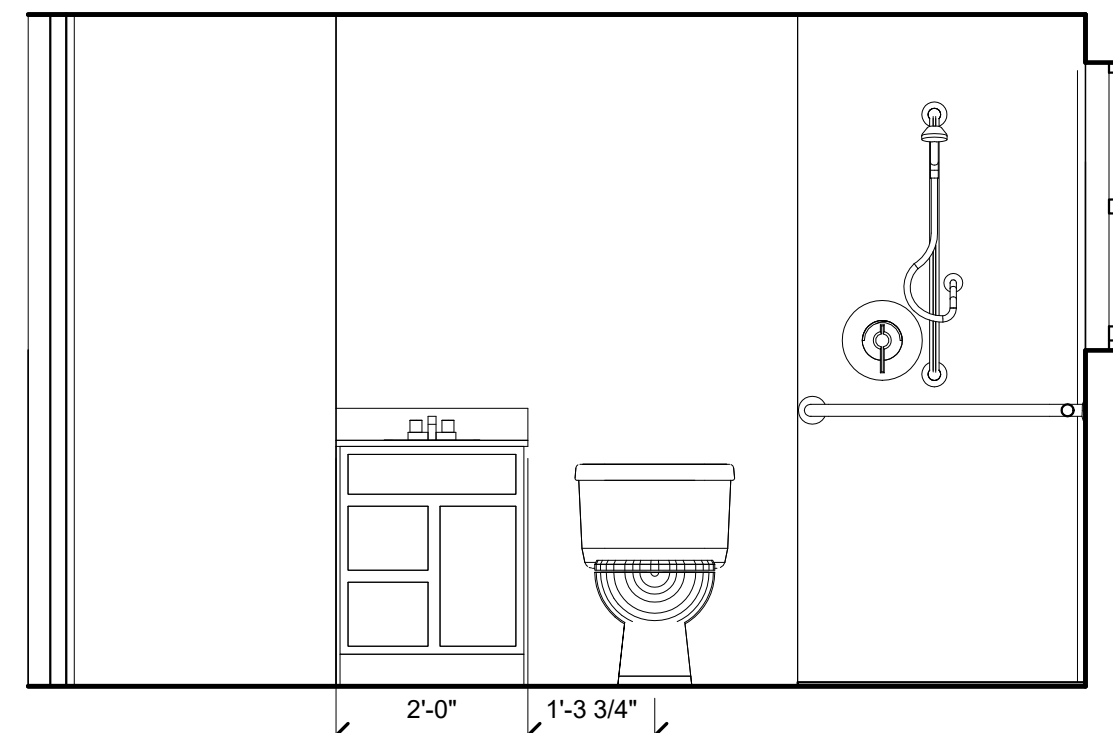
② ADU Kitchen Elevation 1  
1/2" = 1'-0"



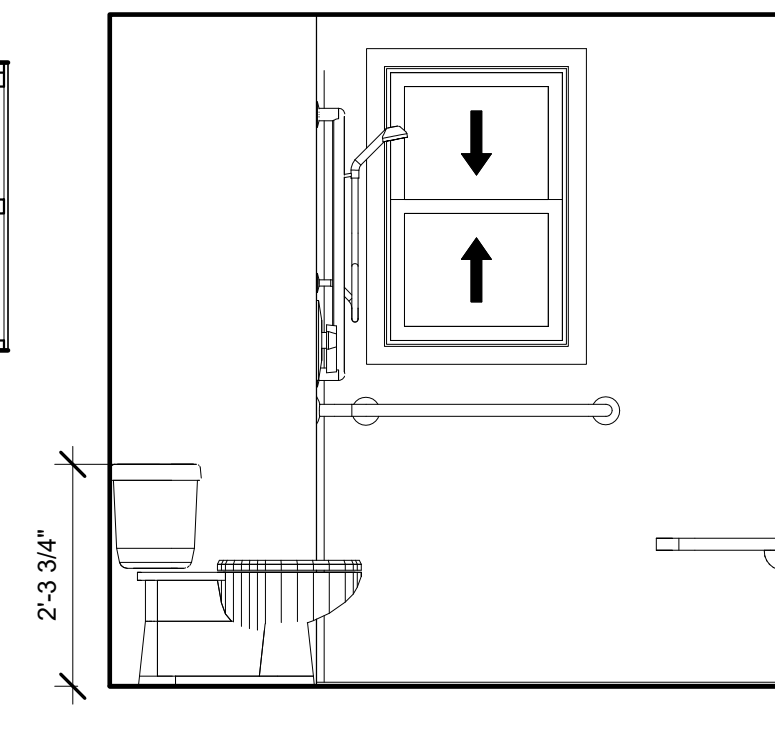
③ ADU Kitchen Elevation 2  
1/2" = 1'-0"



④ ADU Bath Detail Plan  
1/2" = 1'-0"



⑤ ADU Bath Elevation 1  
1/2" = 1'-0"



⑥ ADU Bath Elevation 2  
1/2" = 1'-0"

THE JETT STREET RESIDENCES

746 JETT STREET  
ATLANTA, GA 30318

ISSUANCE SCHEDULE  
07/13/2022 PERMIT DOCS

REVISION SCHEDULE  
MARK DATE DESCRIPTION

PROJECT ID 001  
SHEET TITLE

Interior  
Elevations

SHEET NUMBER

A4-2

ISSUED FOR PERMIT



THE JETT STREET RESIDENCES

746 JETT STREET ATLANTA, GA 30318

ISSUANCE SCHEDULE	
07/13/2022	PERMIT DOCS

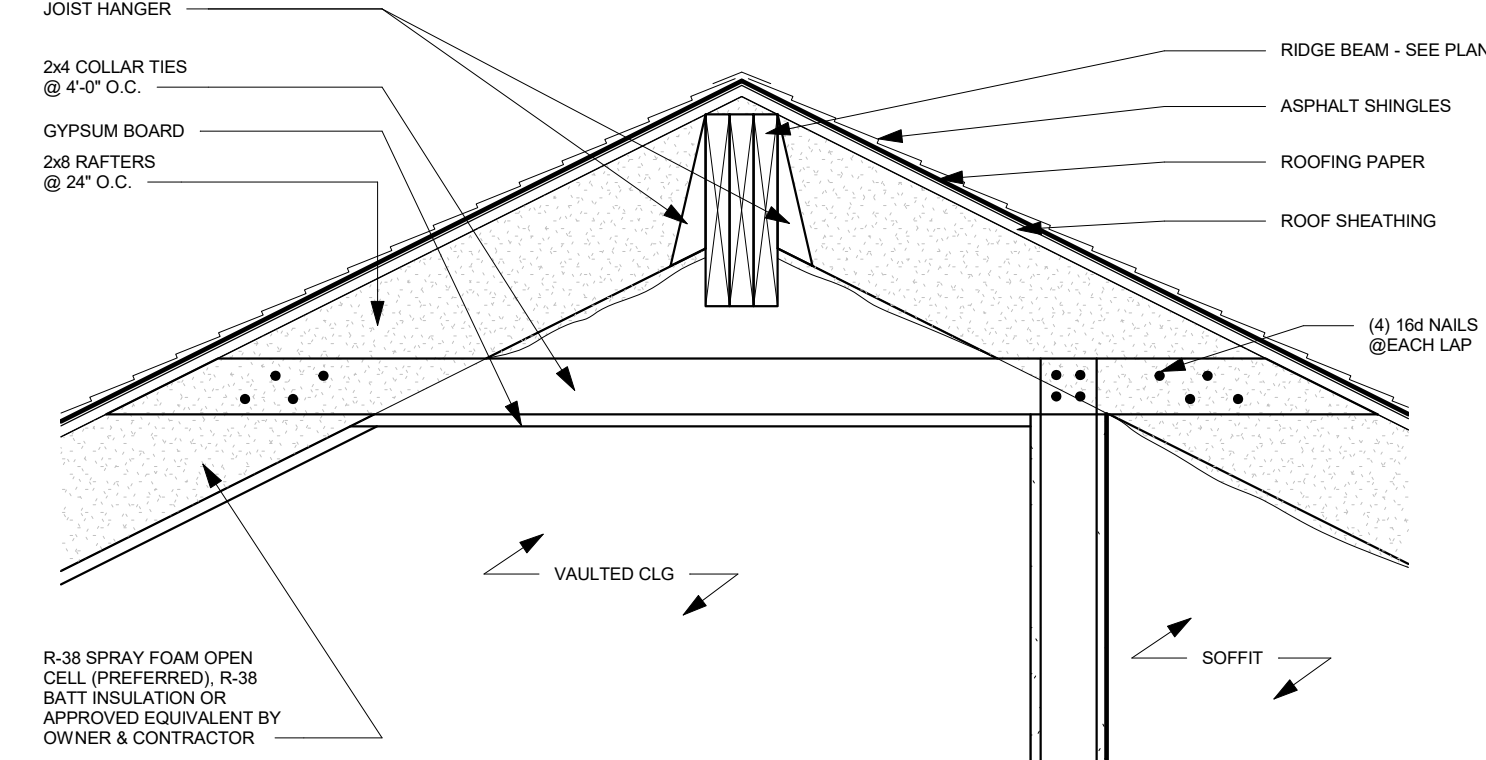
REVISION SCHEDULE		
MARK	DATE	DESCRIPTION
2	03/05/2023	REVISED STRUCTURAL DETAILS

PROJECT ID	001
SHEET TITLE	

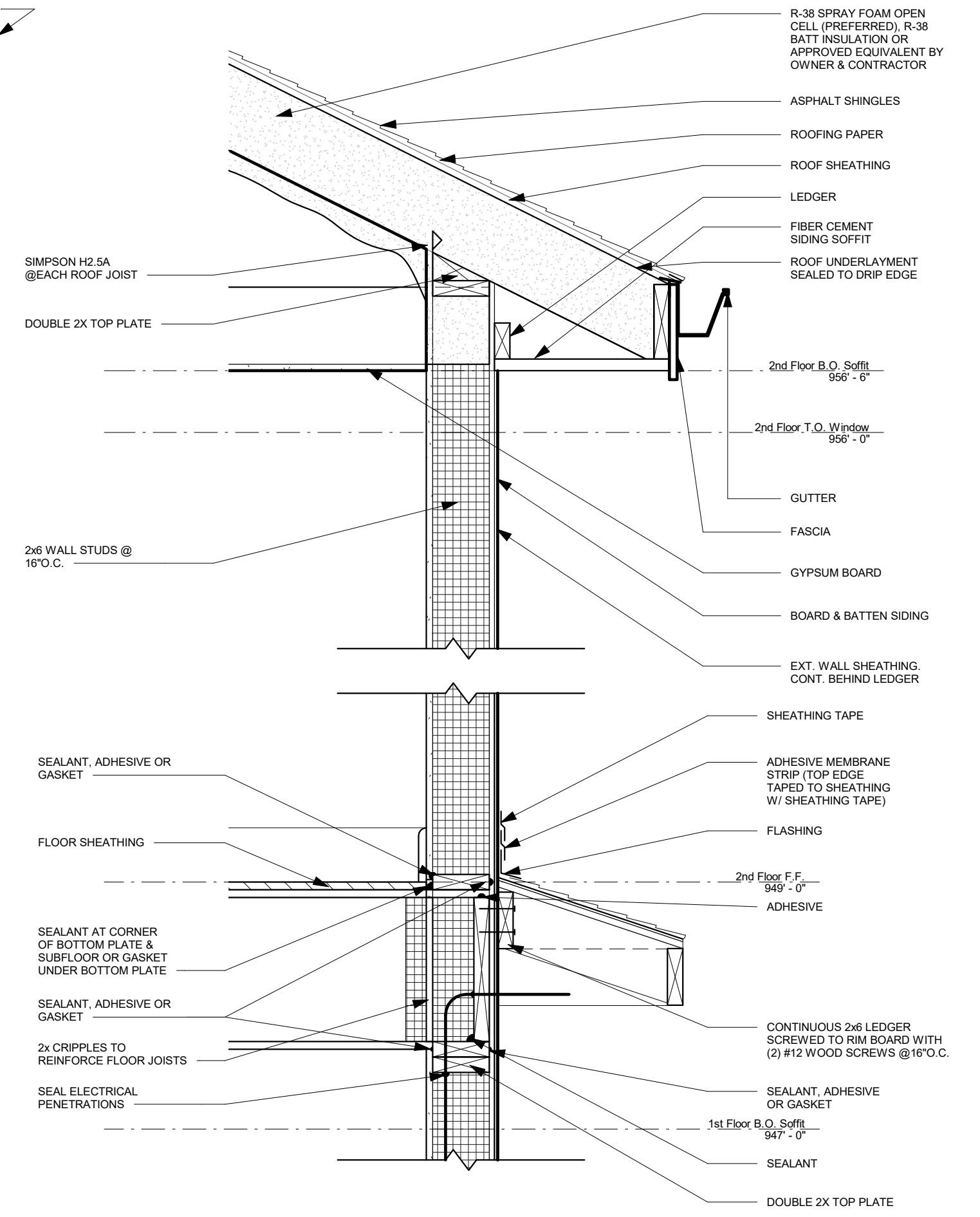
Wall Sections and Details

ISSUED FOR PERMIT

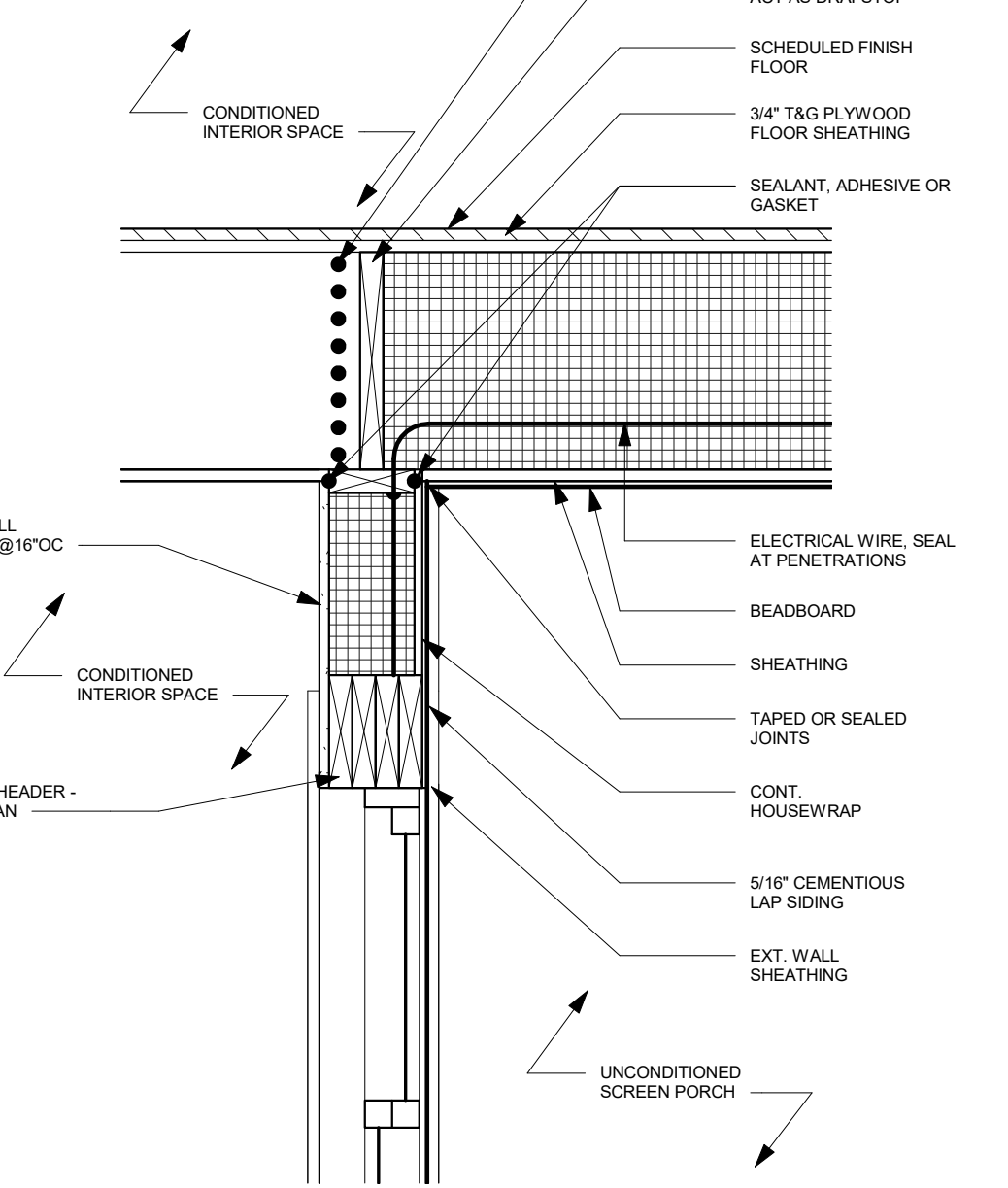
SHEET NUMBER  
**A5-1**



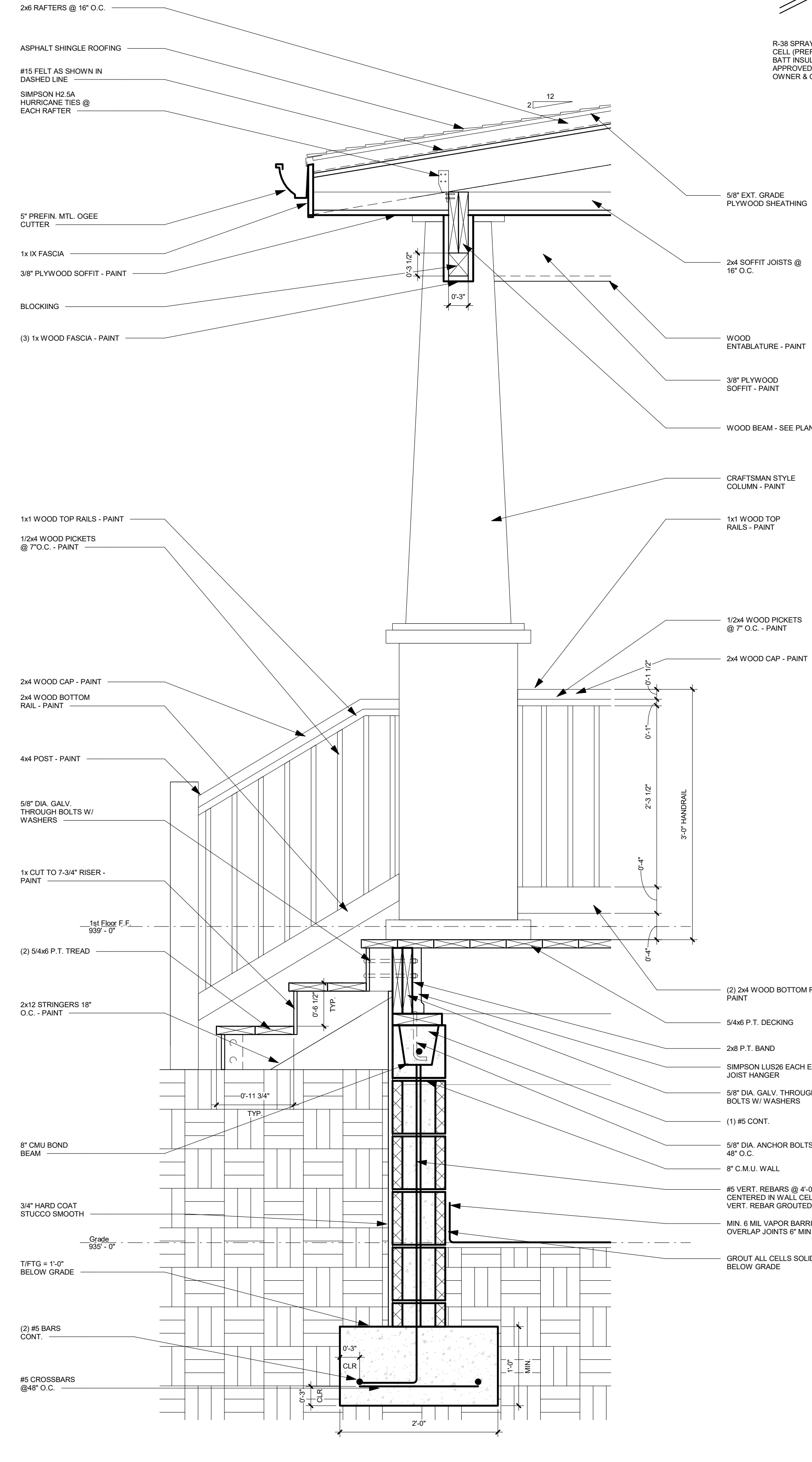
8 Main Unit Collar Tie Detail  
1" = 1'-0"



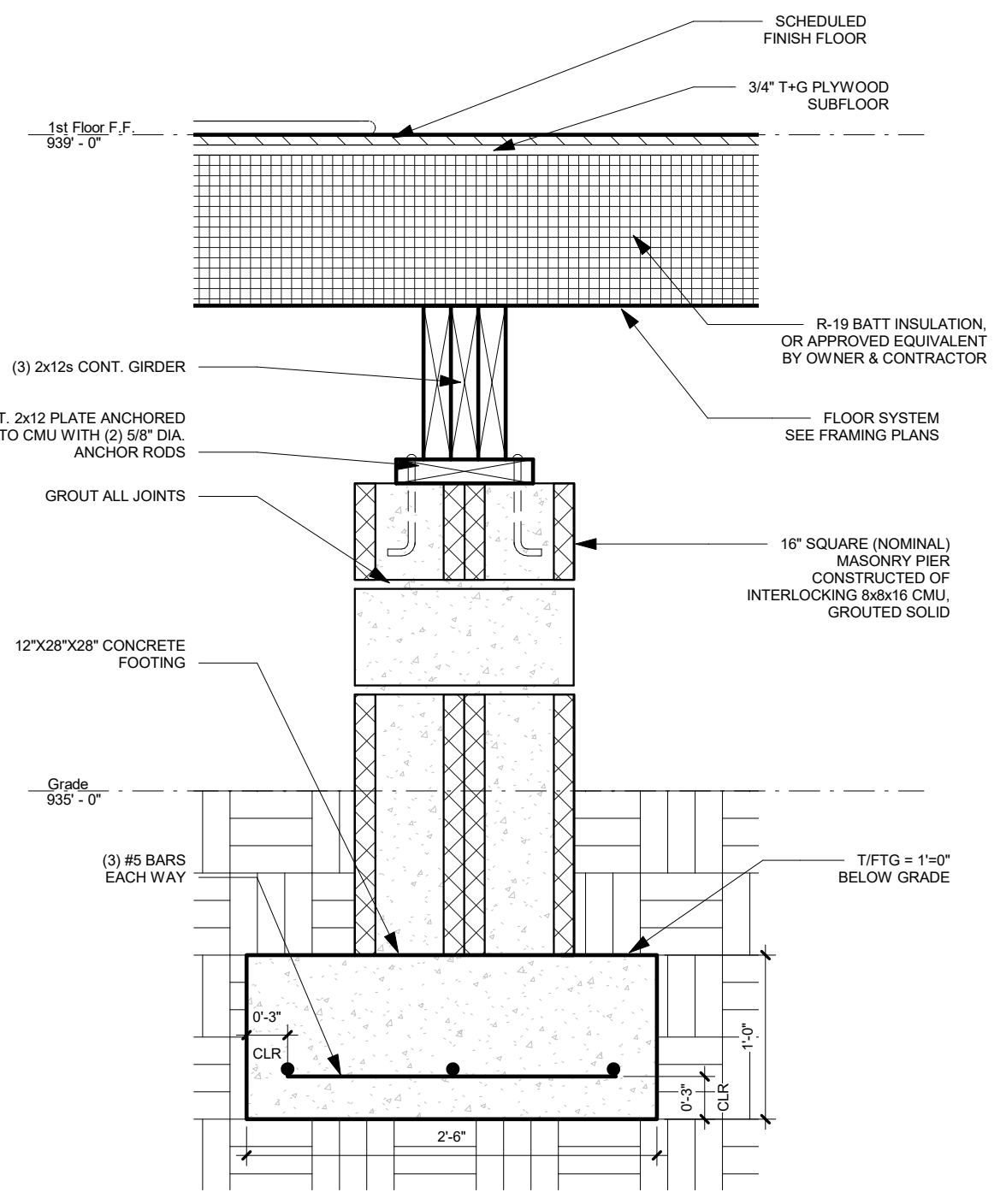
1 Main Unit Proposed Wall Section  
1" = 1'-0"



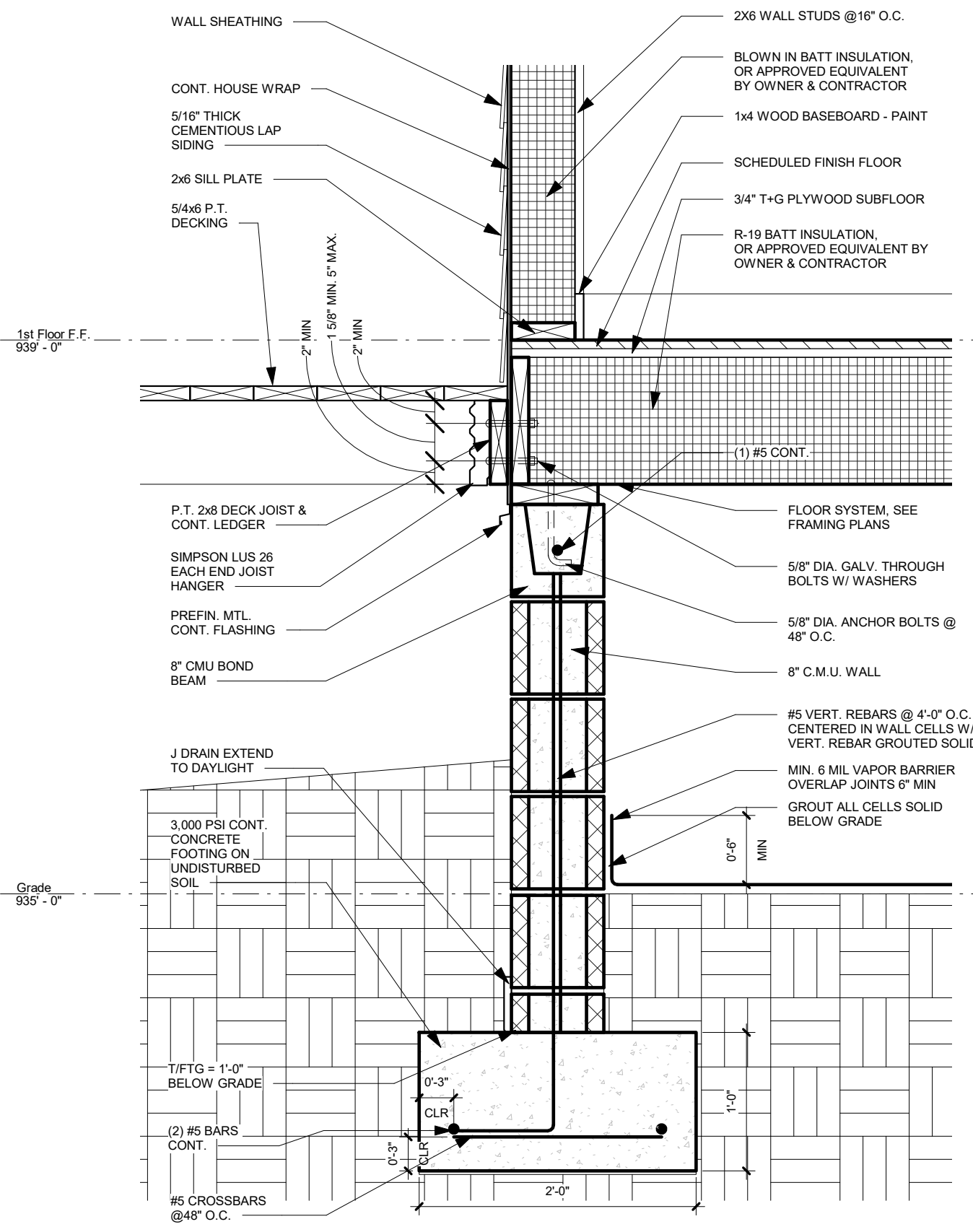
5 Screen Porch Section Detail  
1" = 1'-0"



4 Main Unit Porch Section  
1" = 1'-0"



7 Main Unit Pier Detail  
1" = 1'-0"



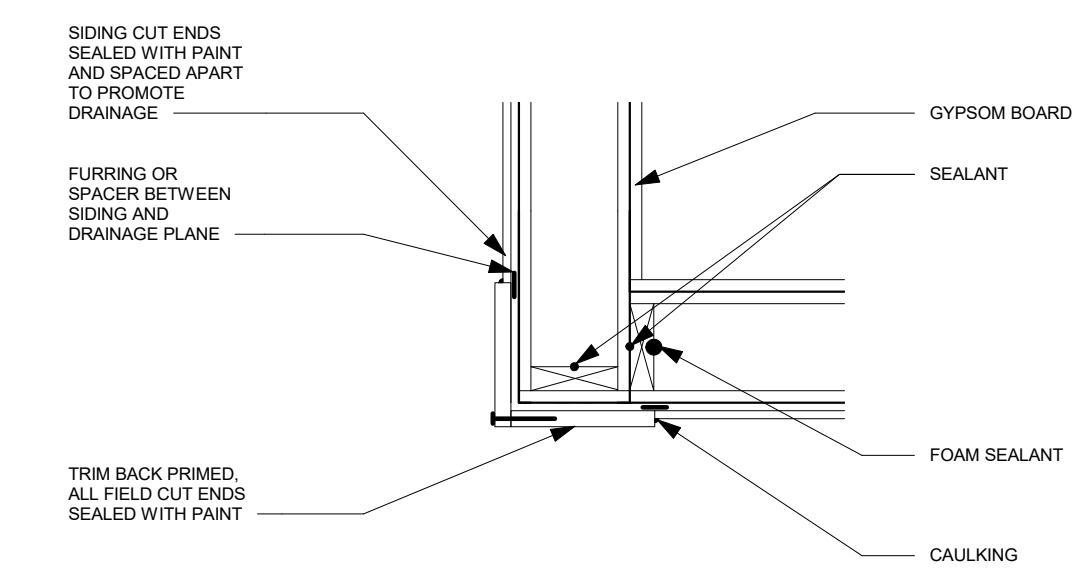
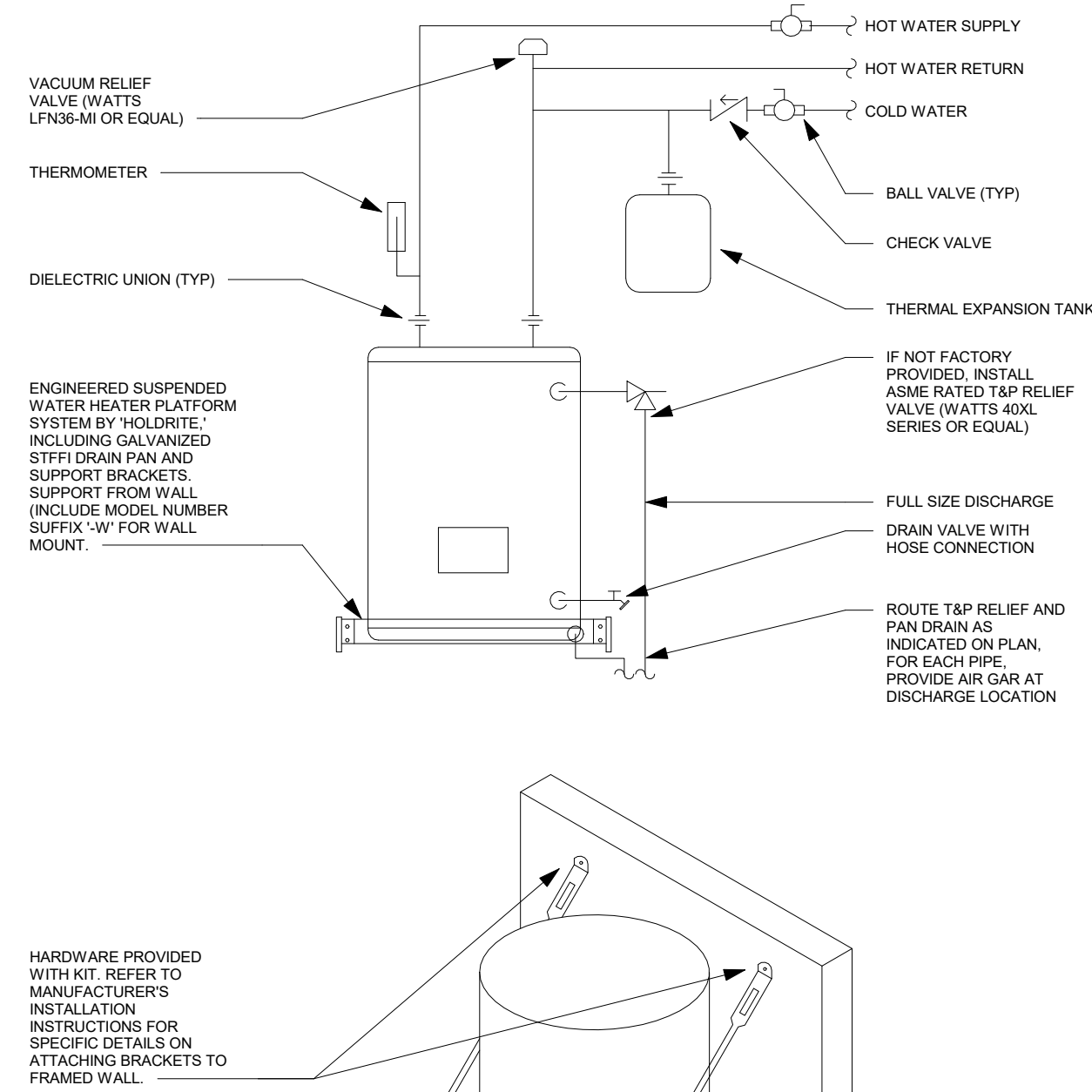
6 Main Unit Ledger Detail  
1" = 1'-0"



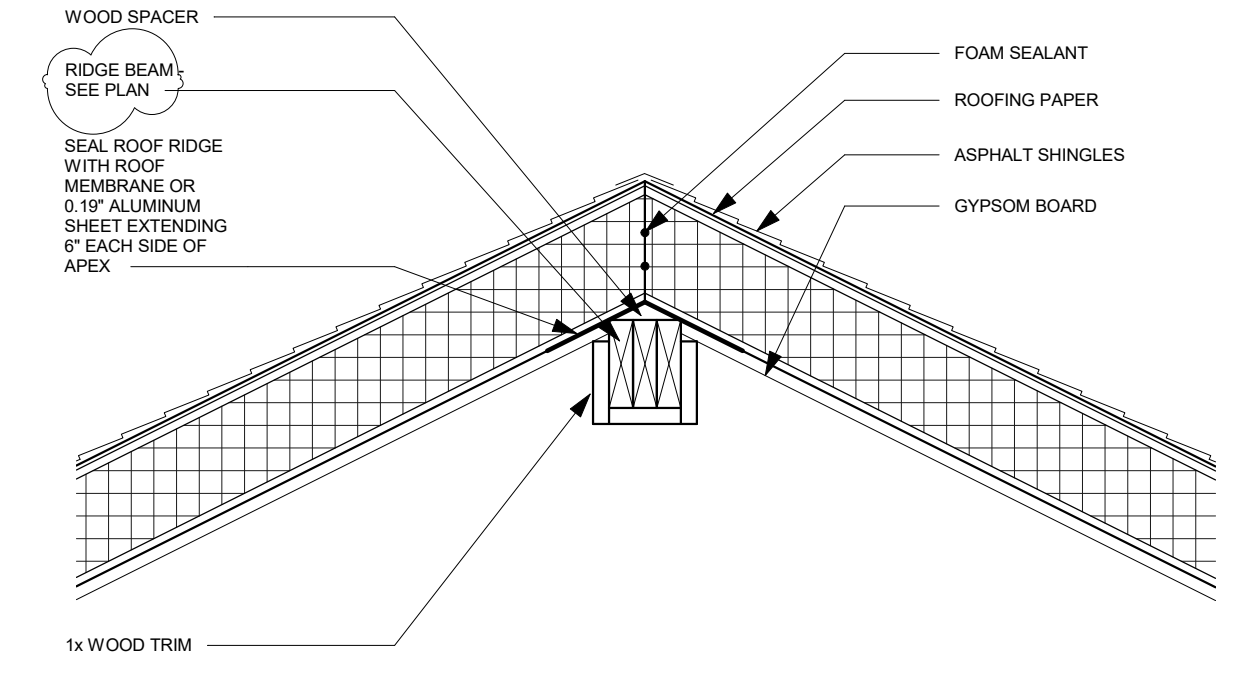
8 Main Unit Collar Tie Detail  
1" = 1'-0"

PLATFORM MOUNTED ELECTRIC WATER HEATER WITH HOT WATER RECIRCULATION  
PROVIDE APPROPRIATE 'HOLDRITE' MODEL BASED ON SCHEDULED WATER HEATER VOLUME AND WATER HEATER DIAMETER

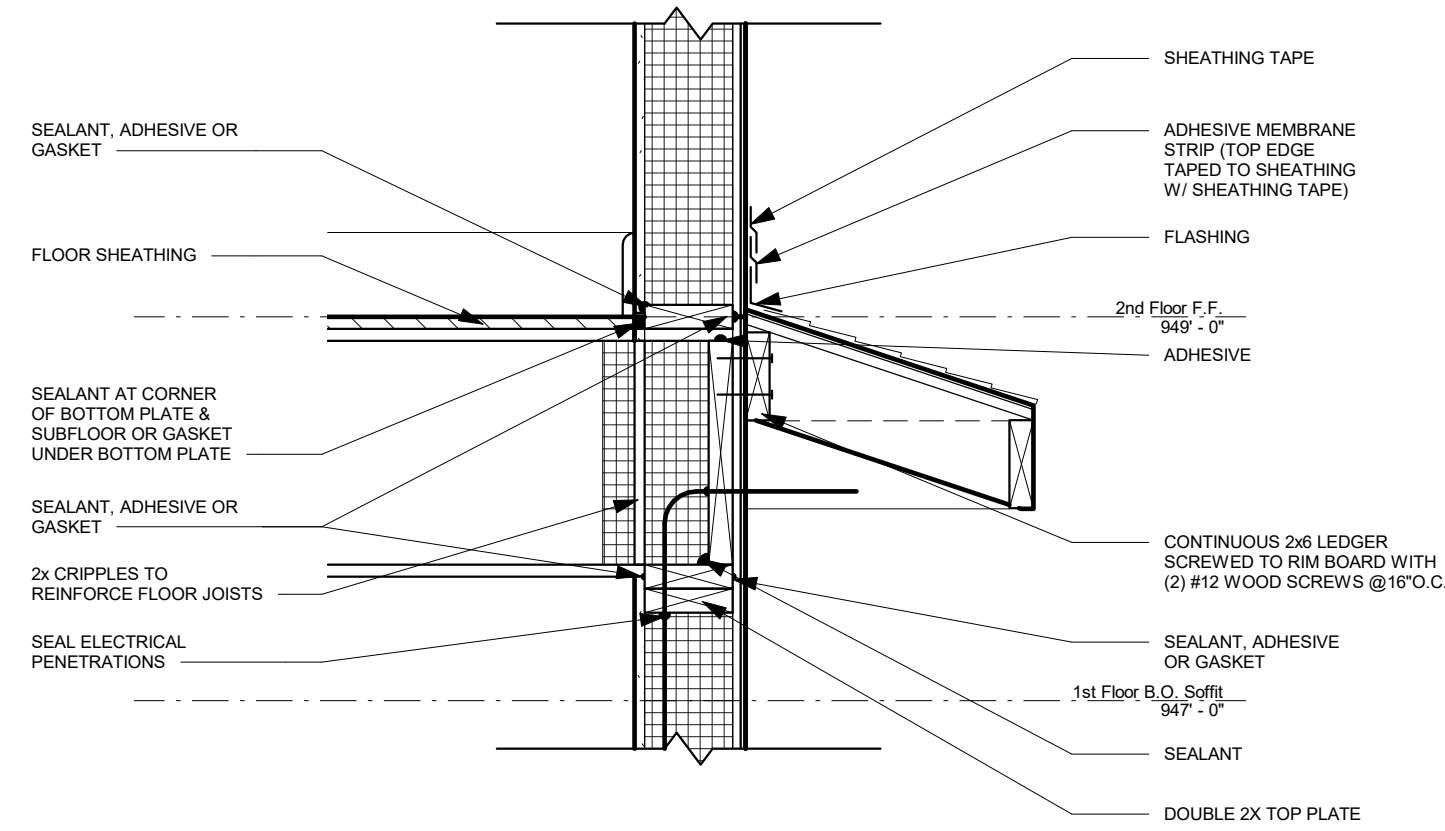
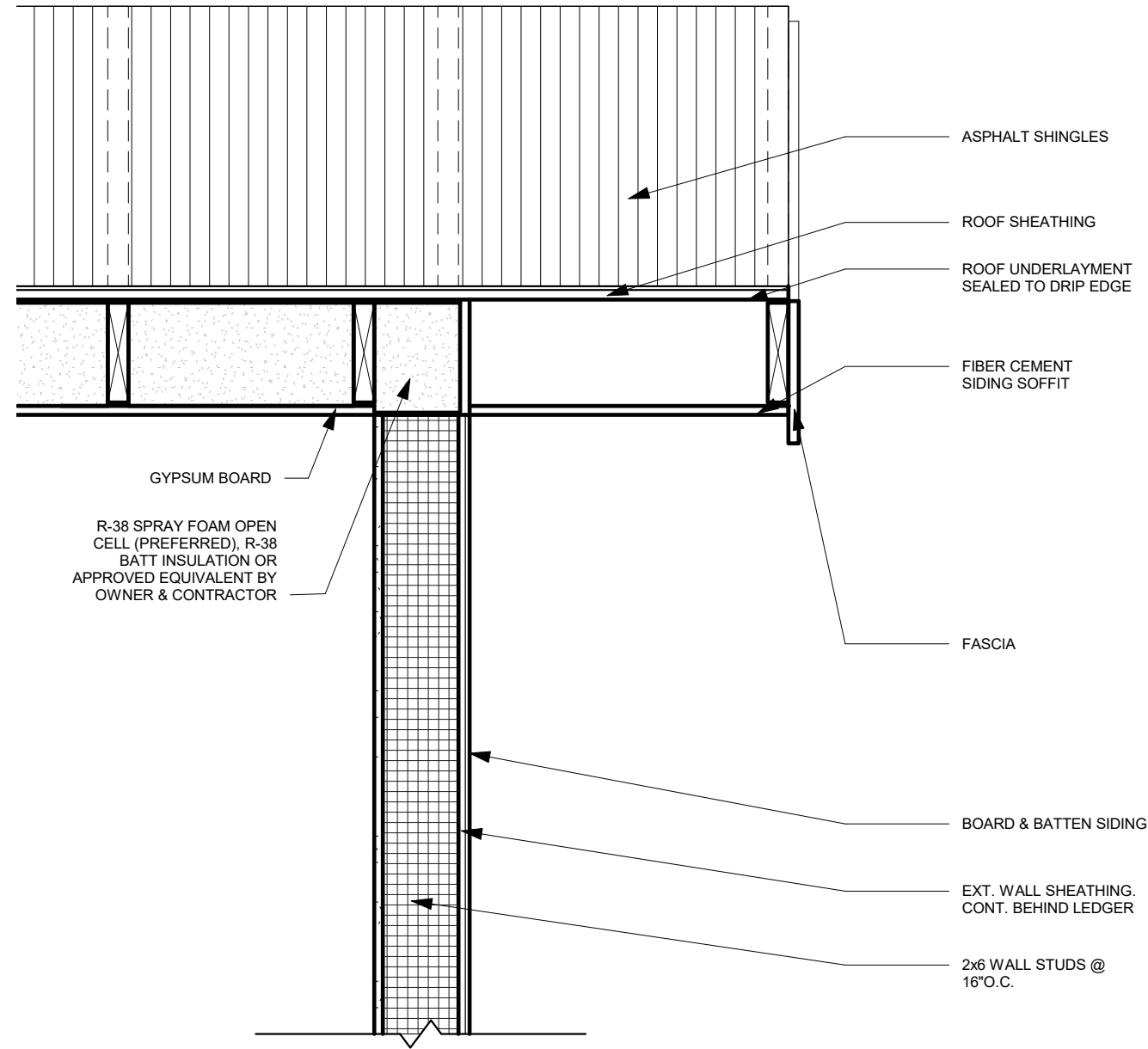
PRODUCT	GALLONS	MAX WEIGHT	PAN SIZE
#40 SWHP	8 TO 20	375	21.25" x 21.25"
#50 SWHP	30 TO 50	600	26.5" x 26.5"



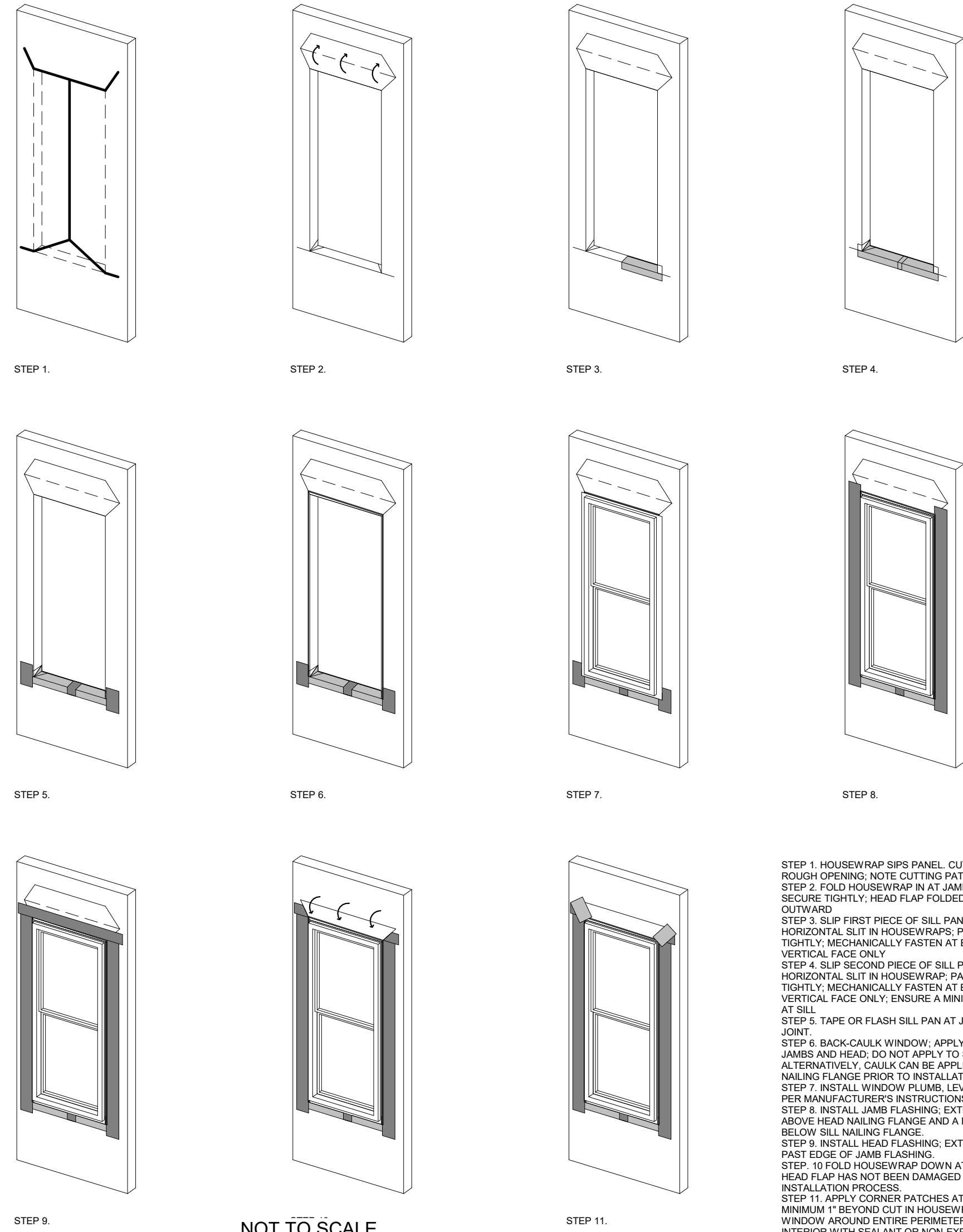
5 ADU SIPS Corner Plan Detail  
1" = 1'-0"



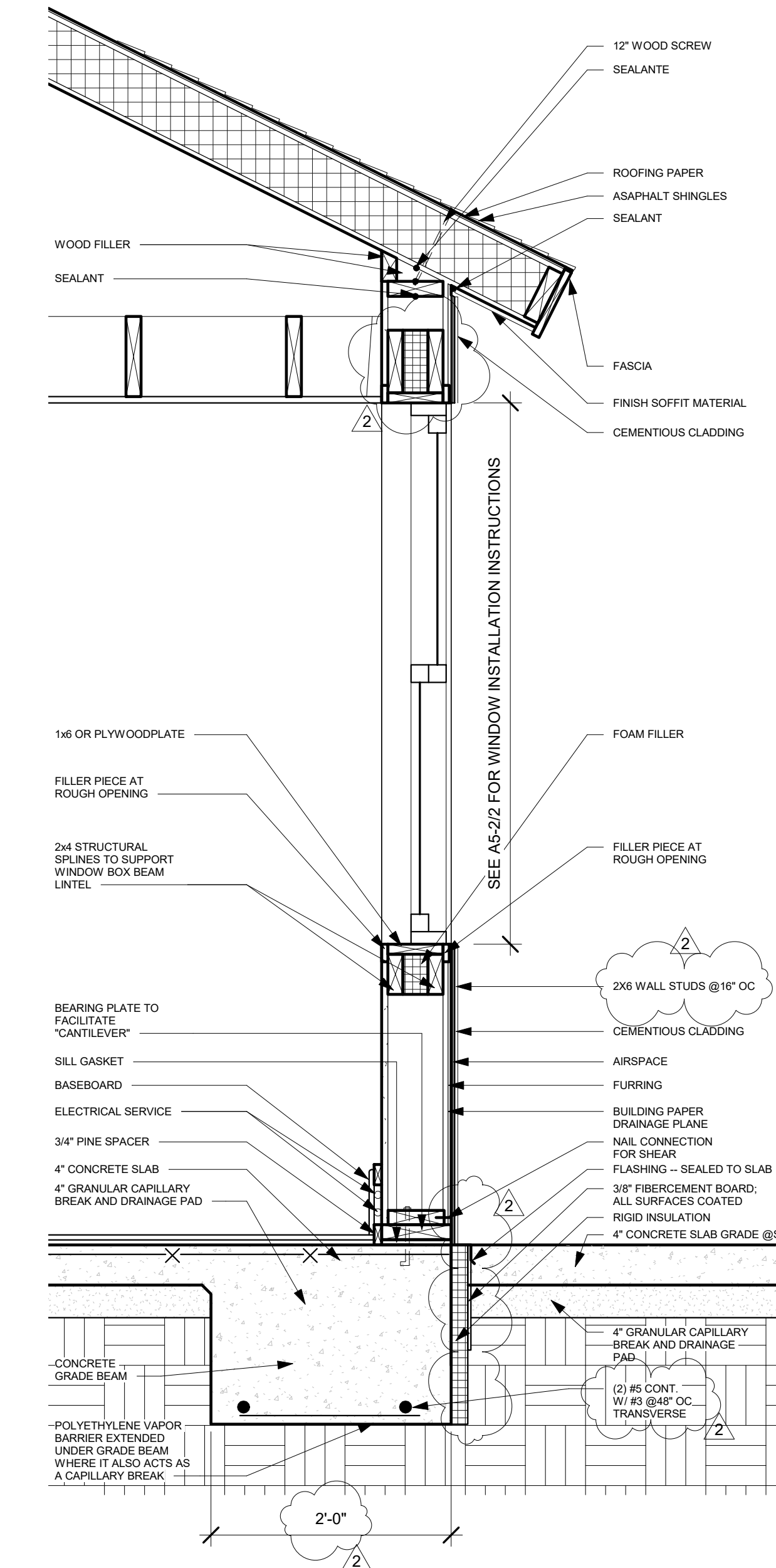
4 ADU Collar Tie Detail  
1" = 1'-0"



6 Platform Mounted Water Heater  
1" = 1'-0" NOT TO SCALE

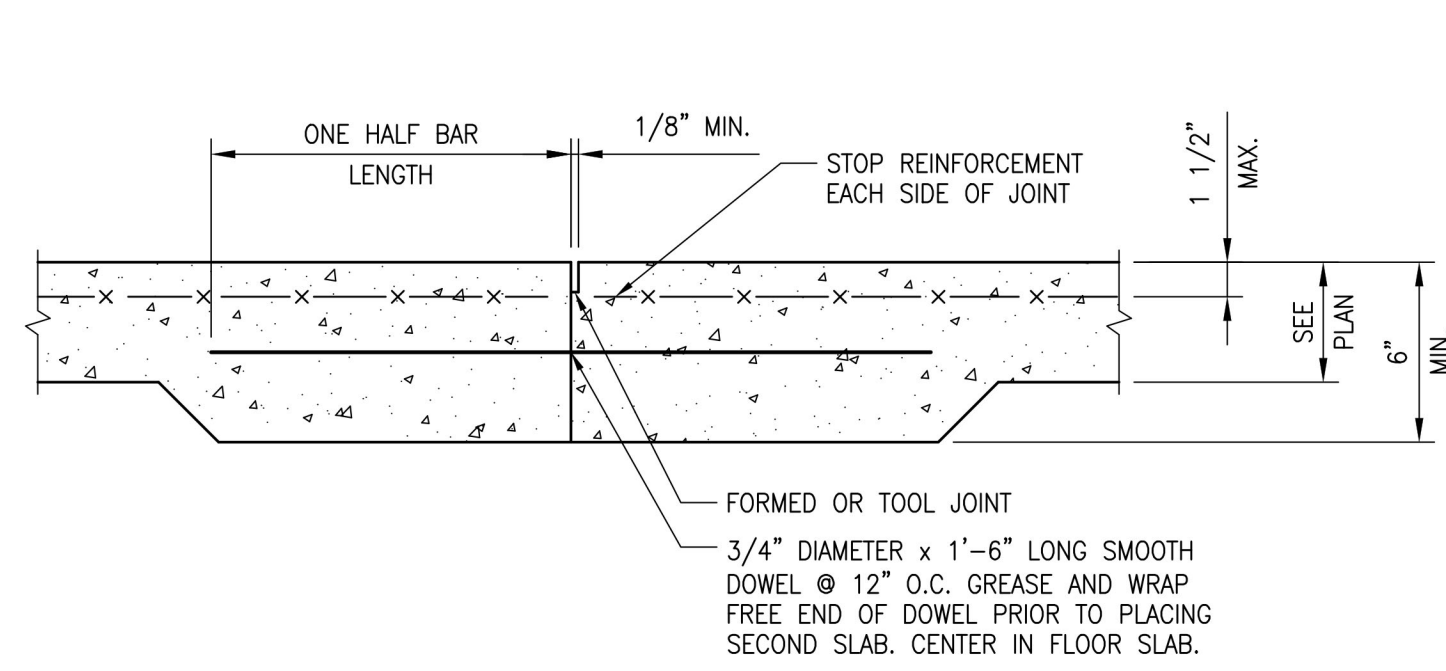


2 SIP Window Installation  
1" = 1'-0"



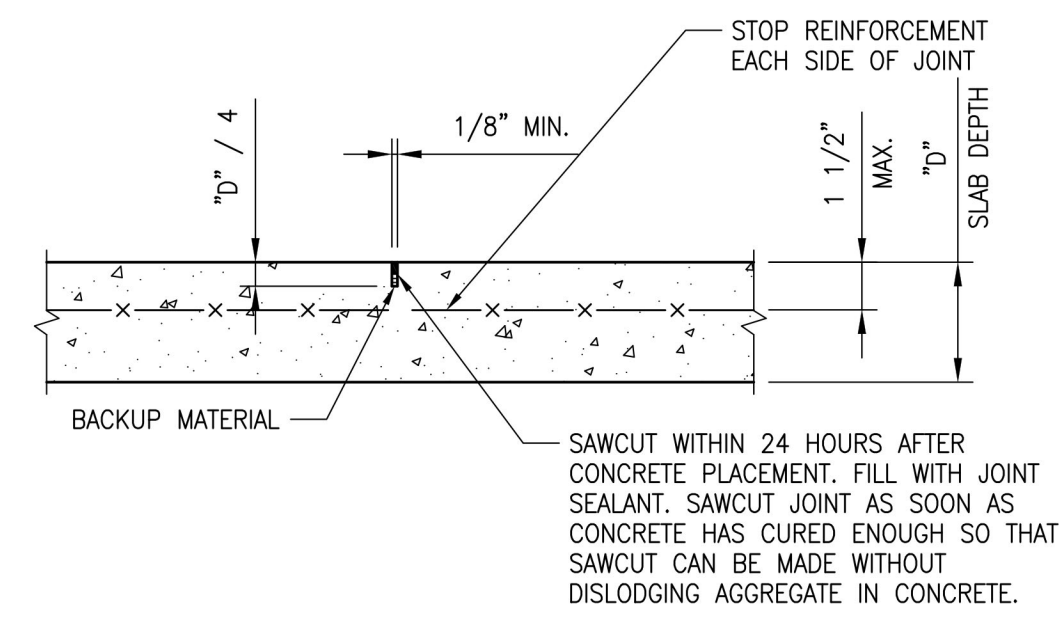
1 ADU Proposed Wall Section  
1" = 1'-0"

3 Main Unit Proposed Wall Section- Front  
1" = 1'-0"



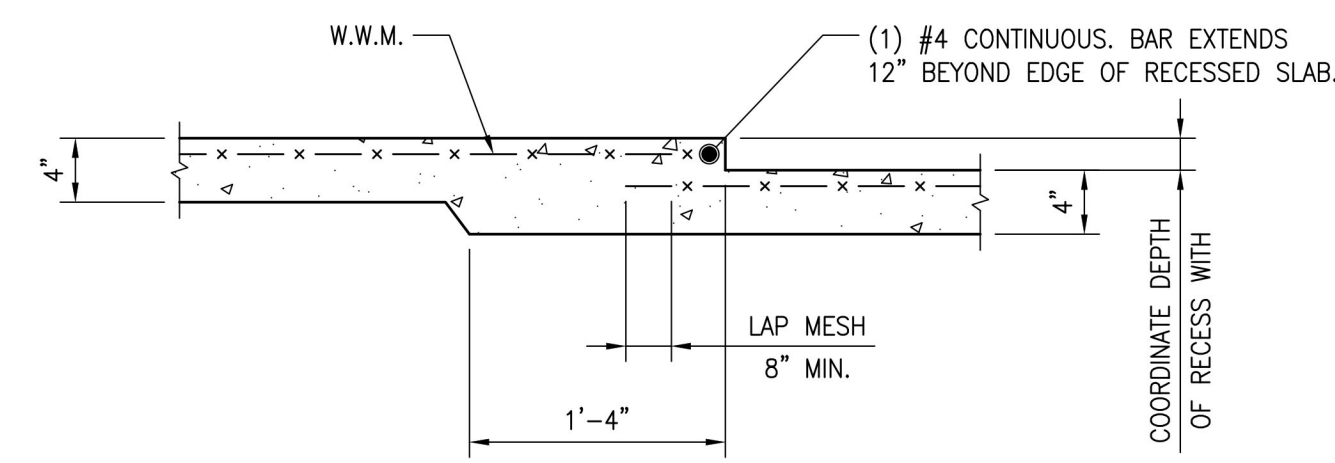
FORMED CONSTRUCTION JOINT

DETAIL TYP  
N.T.S. S3.00



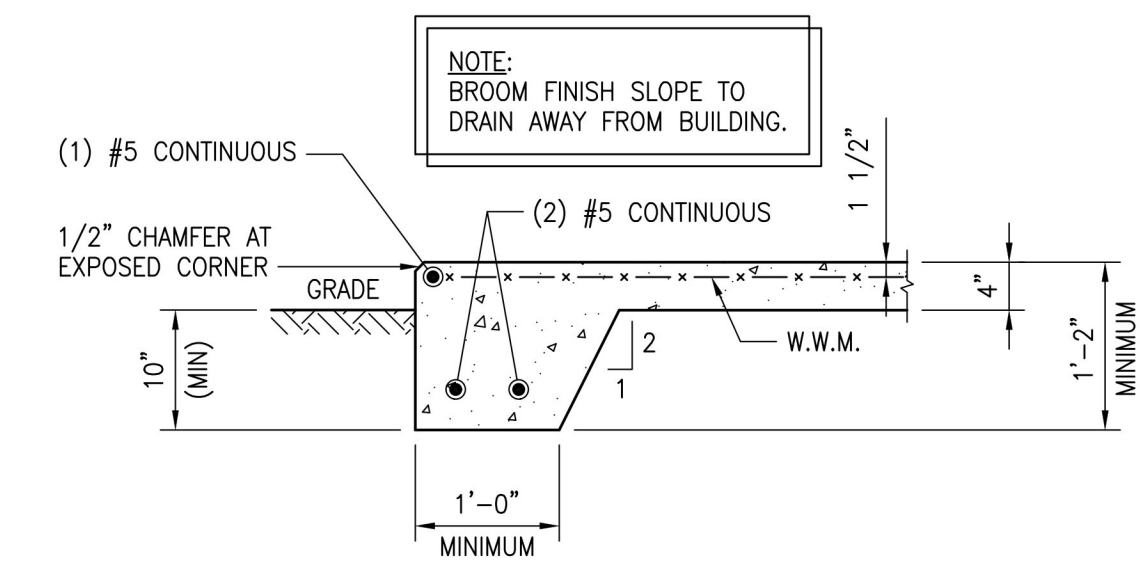
SAWCUT CONTRACTION JOINT

DETAIL TYP  
N.T.S. S3.00



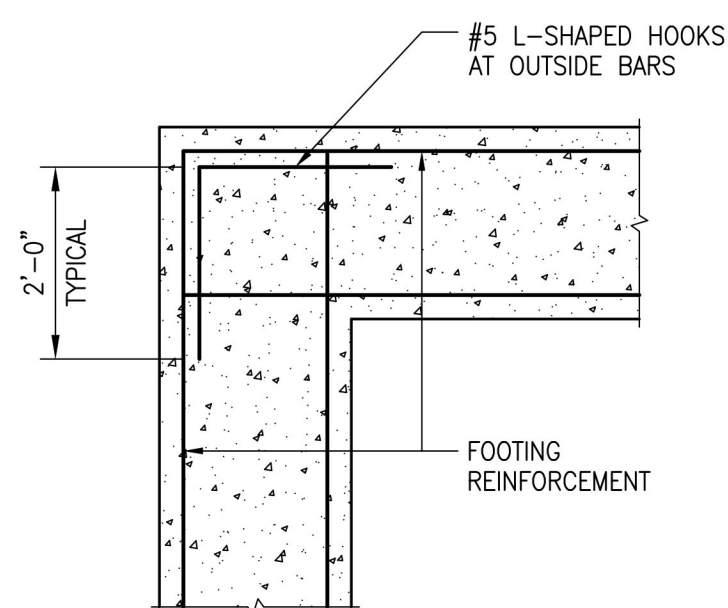
TYPICAL SLAB RECESS @ SLAB-ON-GRADE

DETAIL TYP  
N.T.S. S3.00



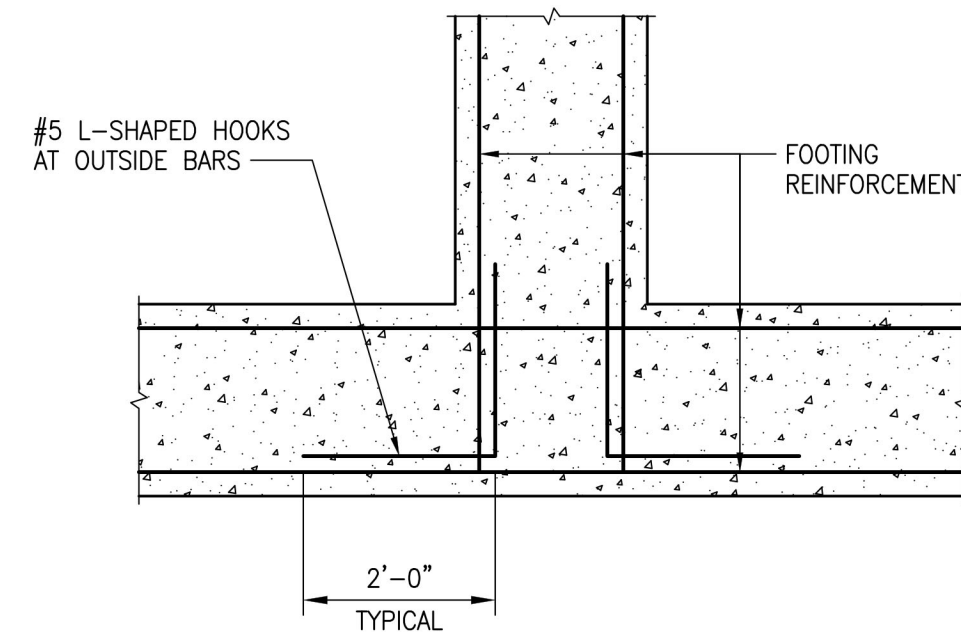
EXTERIOR SLAB-ON-GRADE

DETAIL TYP  
N.T.S. S3.00



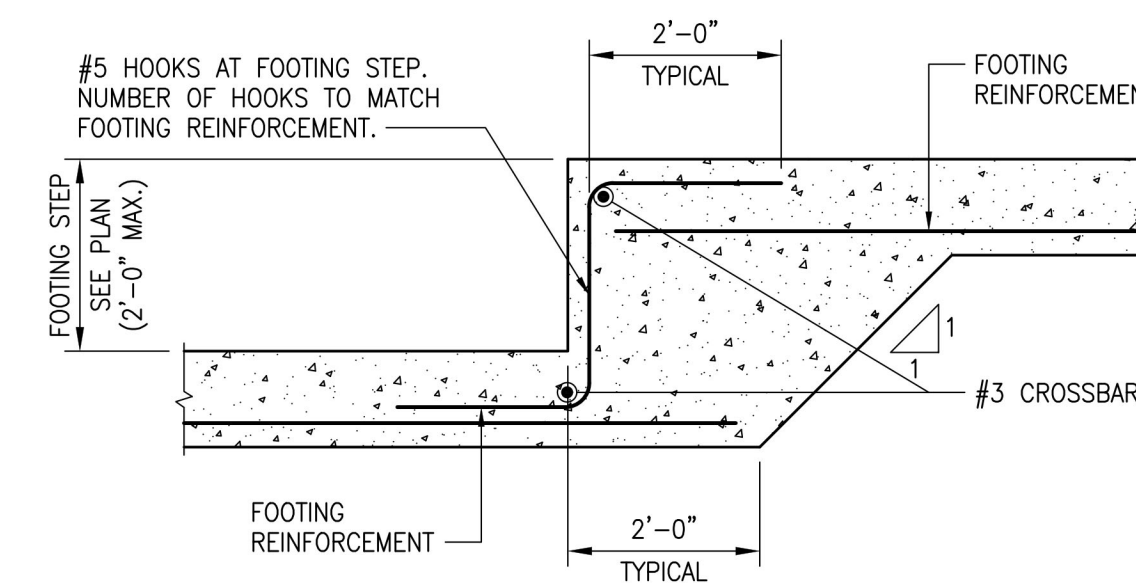
FOOTING CORNER

DETAIL TYP  
N.T.S. S3.00



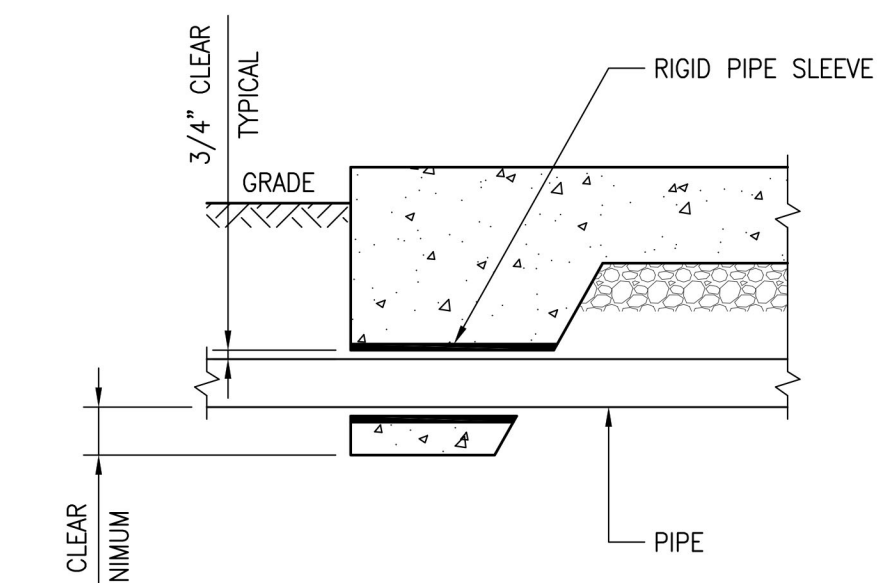
FOOTING JUNCTION

DETAIL TYP  
N.T.S. S3.00



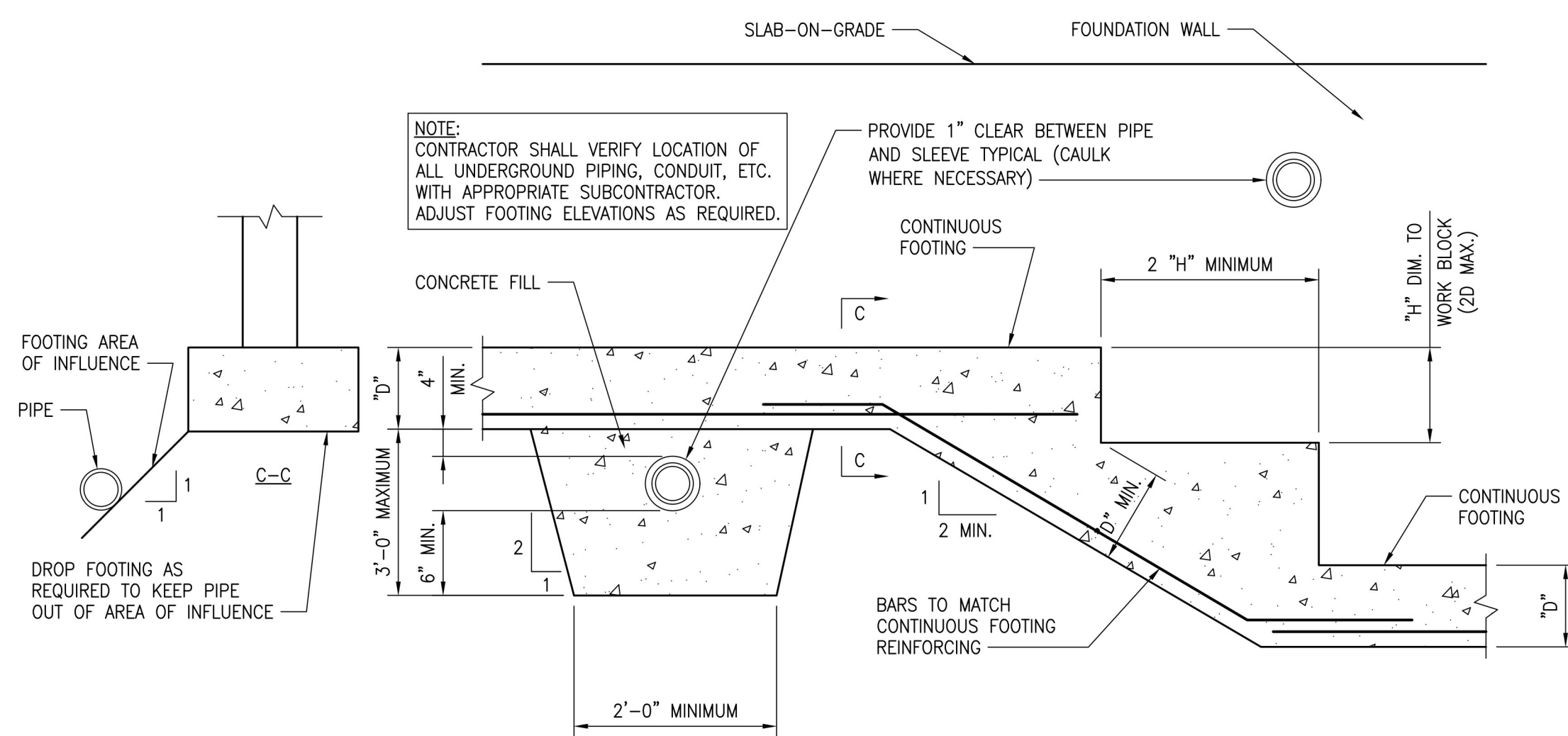
FOOTING STEP

DETAIL TYP  
N.T.S. S3.00



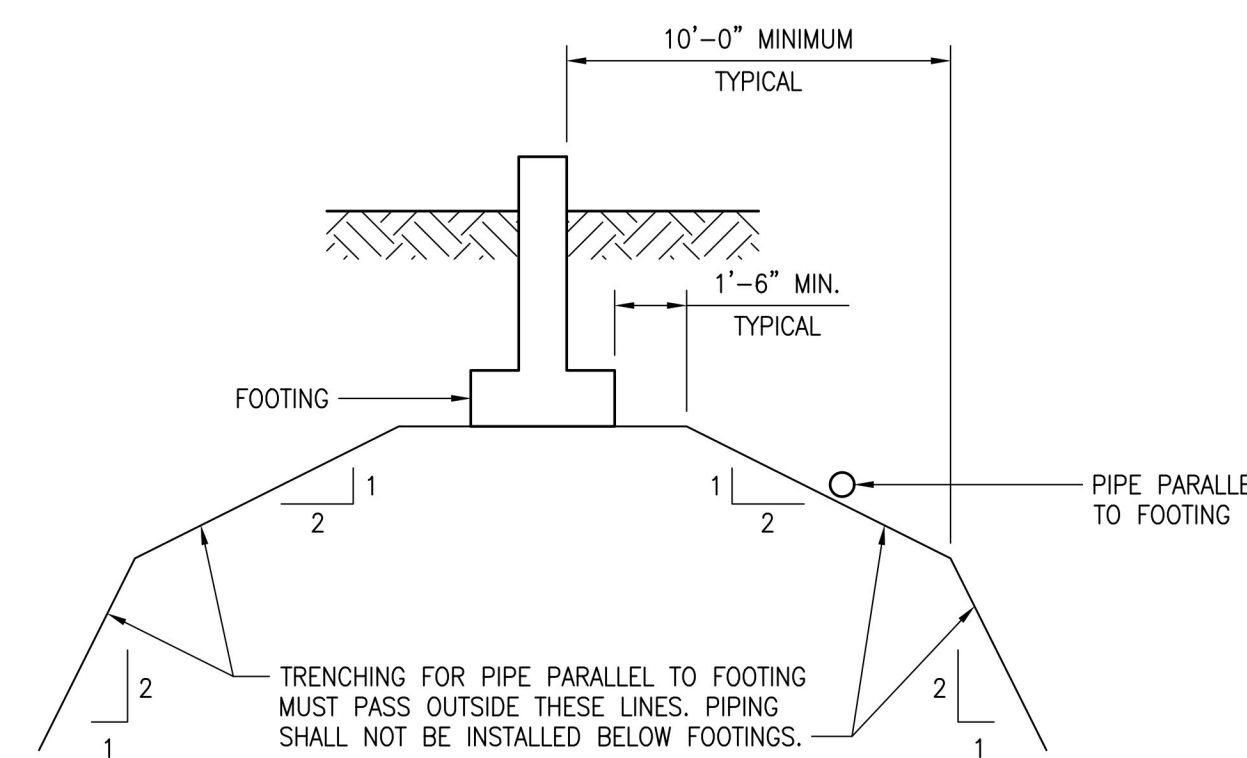
PIPE PENETRATING TURNDOWN

DETAIL TYP  
N.T.S. S3.00



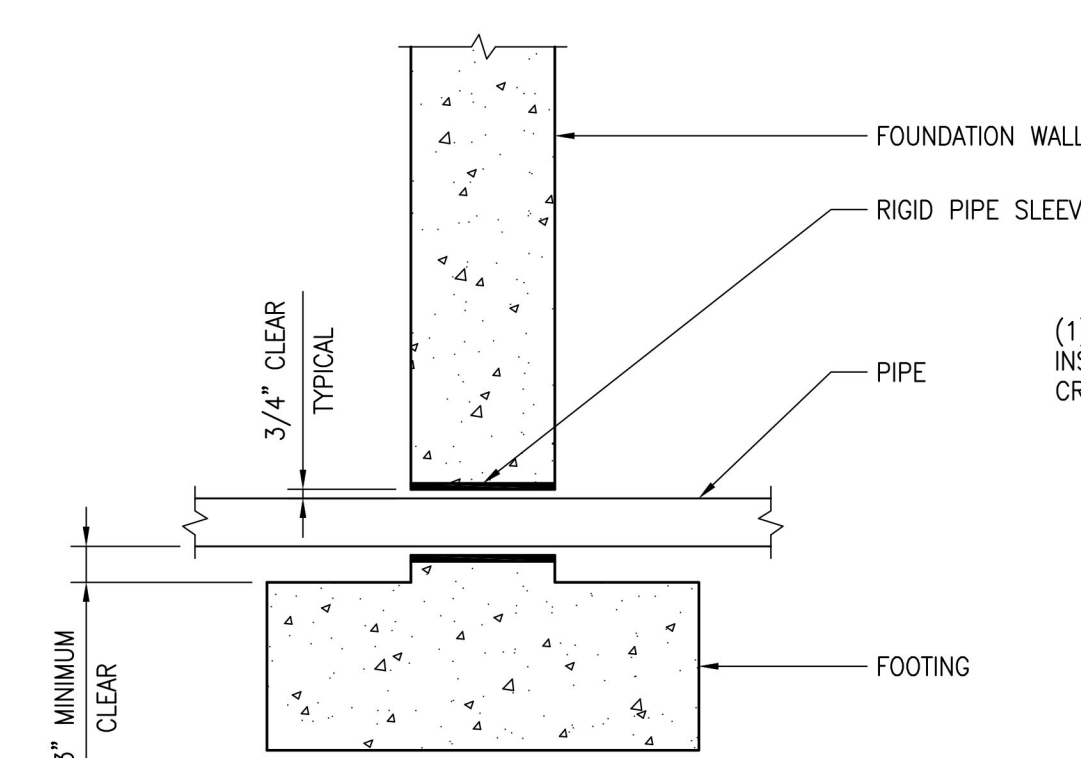
TYPICAL STEPPED FOOTING AND PIPE @ FOUNDATION DETAIL

DETAIL TYP  
N.T.S. S3.00



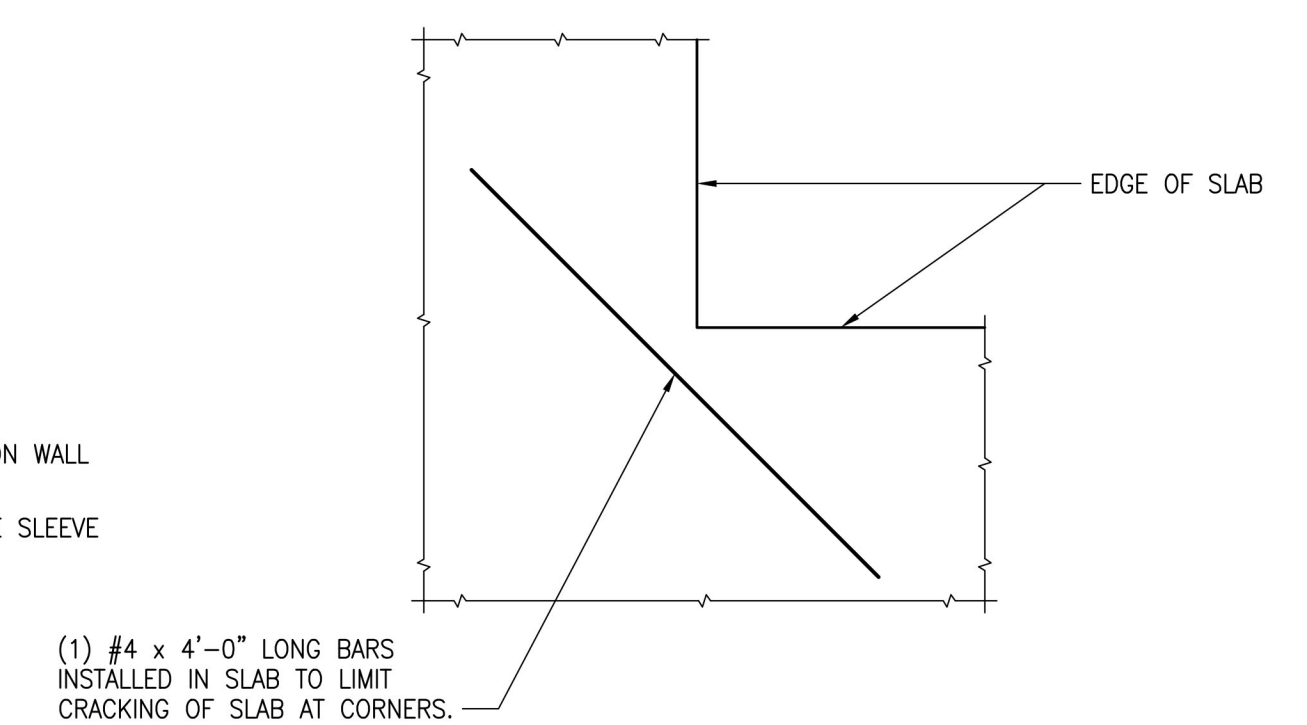
PIPE PARALLEL WITH FOOTING

DETAIL TYP  
N.T.S. S3.00



PIPE PENETRATING FOUNDATION WALL

DETAIL TYP  
N.T.S. S3.00



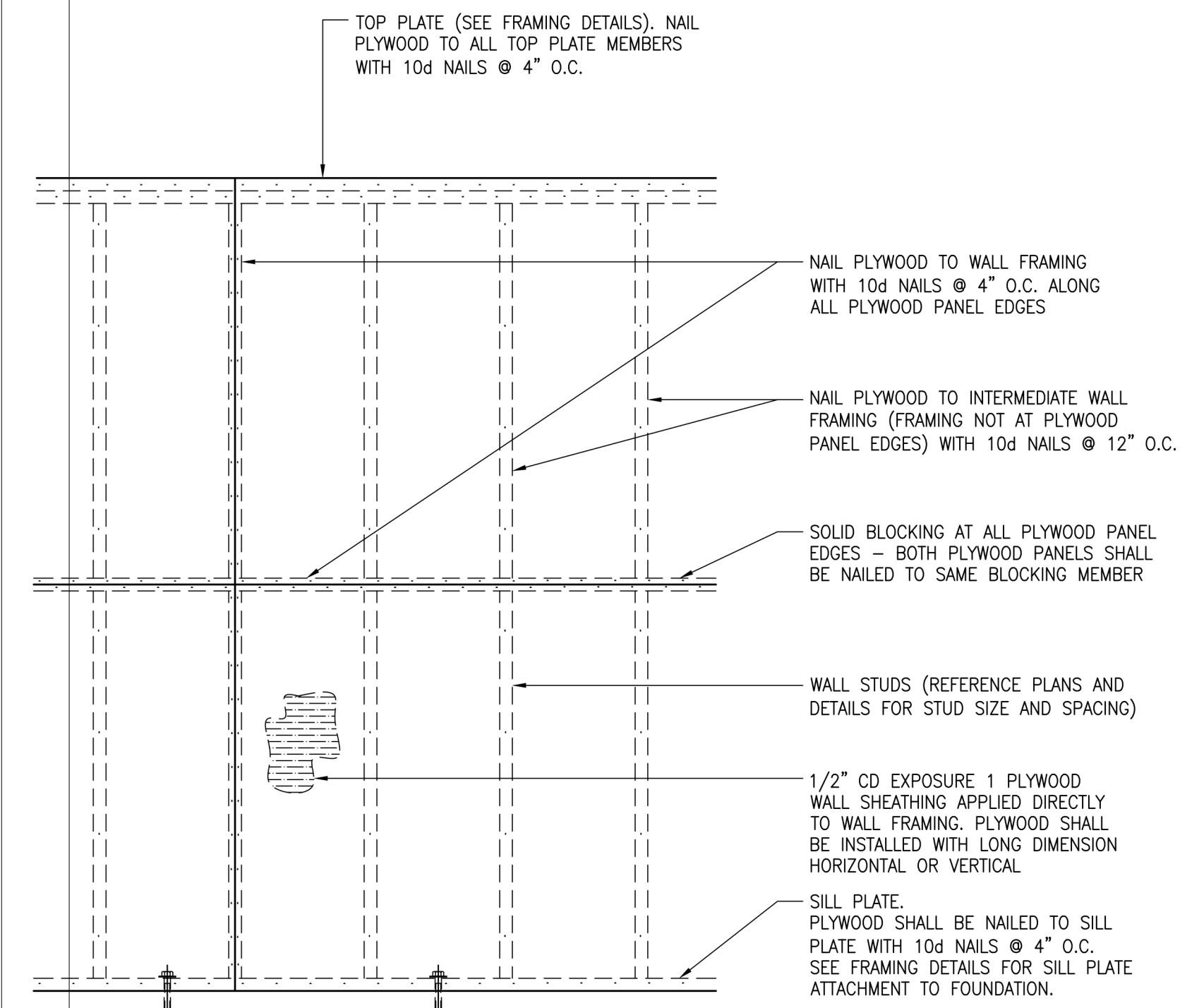
WALL CORNER REINFORCEMENT

DETAIL TYP  
N.T.S. S3.00

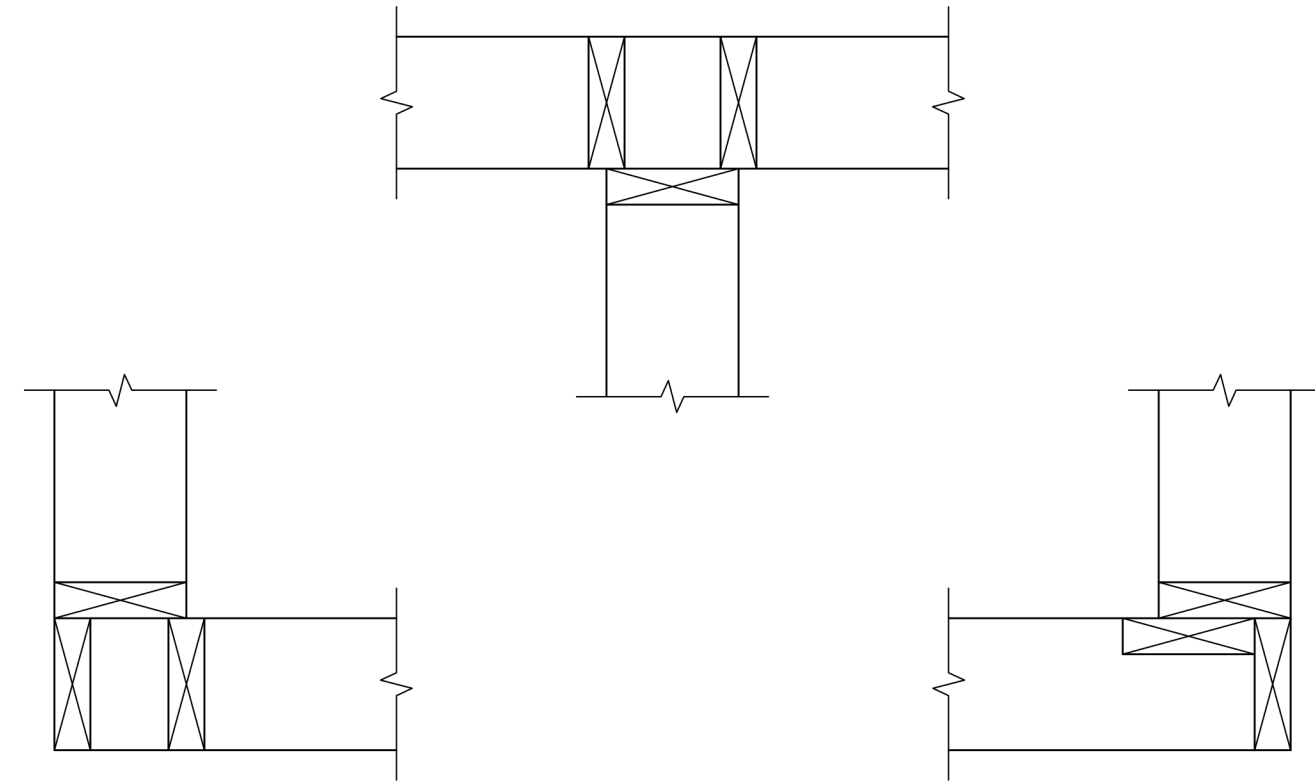
**PEC**  
STRUCTURAL ENGINEERING  
ATLANTA, GA  
2752 EAST PONCE DE LEON AVENUE, SUITE D, DECATUR, GA 30030  
PHONE: (404) 666-6022 • FAX: (256) 533-3943  
EMAIL: mail@pecstructural.com • WEBSITE: www.pecstructural.com

PEC PROJECT NO.: 21-496  
CAD FILE: S300.DWG  
ENGINEER: RSK

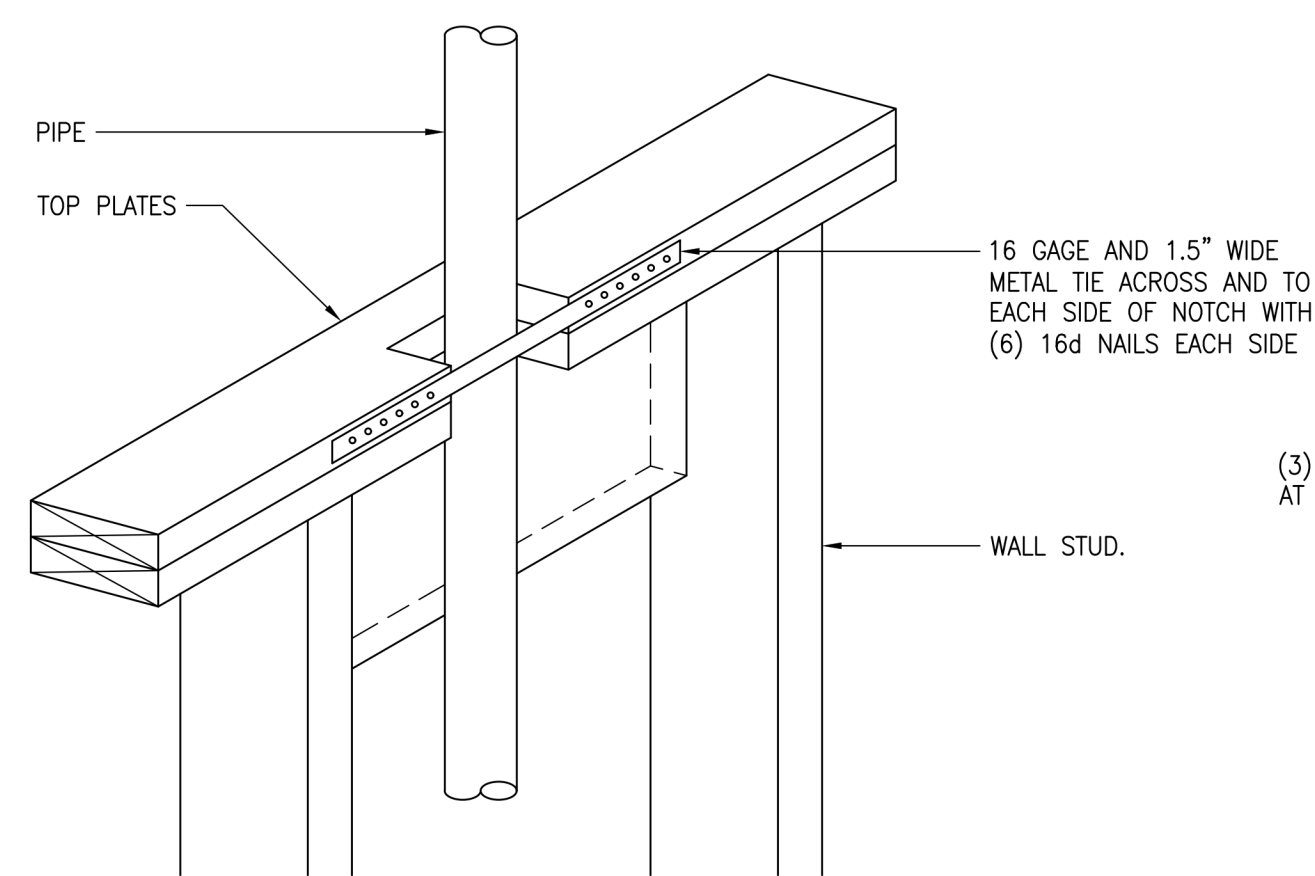
**S3.00**  
FOUNDATION DETAILS  
AS NOTED



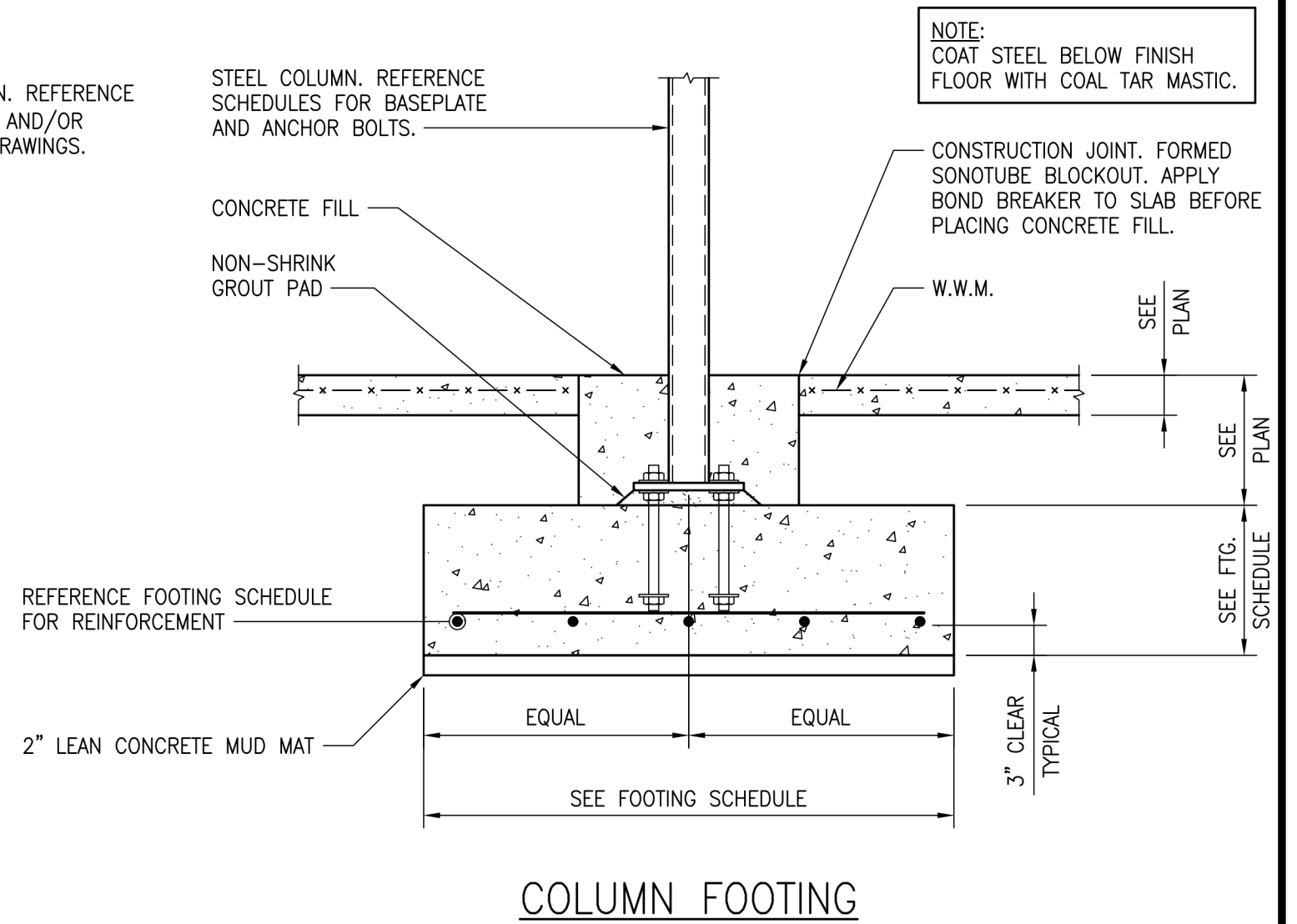
NOTE:  
CONSTRUCT WALLS WITH A MINIMUM OF 3 STUDS AT EACH CORNER AND/OR WALL JUNCTION. SEE FRAMING PLANS FOR SIZE OF WALL STUDS.



NOTE:  
INSTALL 2x8 BLOCKING BELOW NOTCHED TOP PLATE IF NOTCHED TOP PLATE SUPPORTS ROOF AND/OR FLOOR FRAMING. INSTALL BLOCKING TIGHT TO BOTTOM OF TOP PLATE. (LONG FACE VERTICAL) NAIL BLOCKING TO WALL STUDS WITH (5) 12d NAILS @ EACH END OF BLOCKING.



(3) ST AT COI  
DRAIN. REFERENCE ANICAL AND/OR SING DRAWINGS.



WALL SHEATHING ATTACHMENT PATTERN

DETAIL TYP S400  
N.T.S.

WALL FRAMING AT CORNERS AND JUNCTIONS

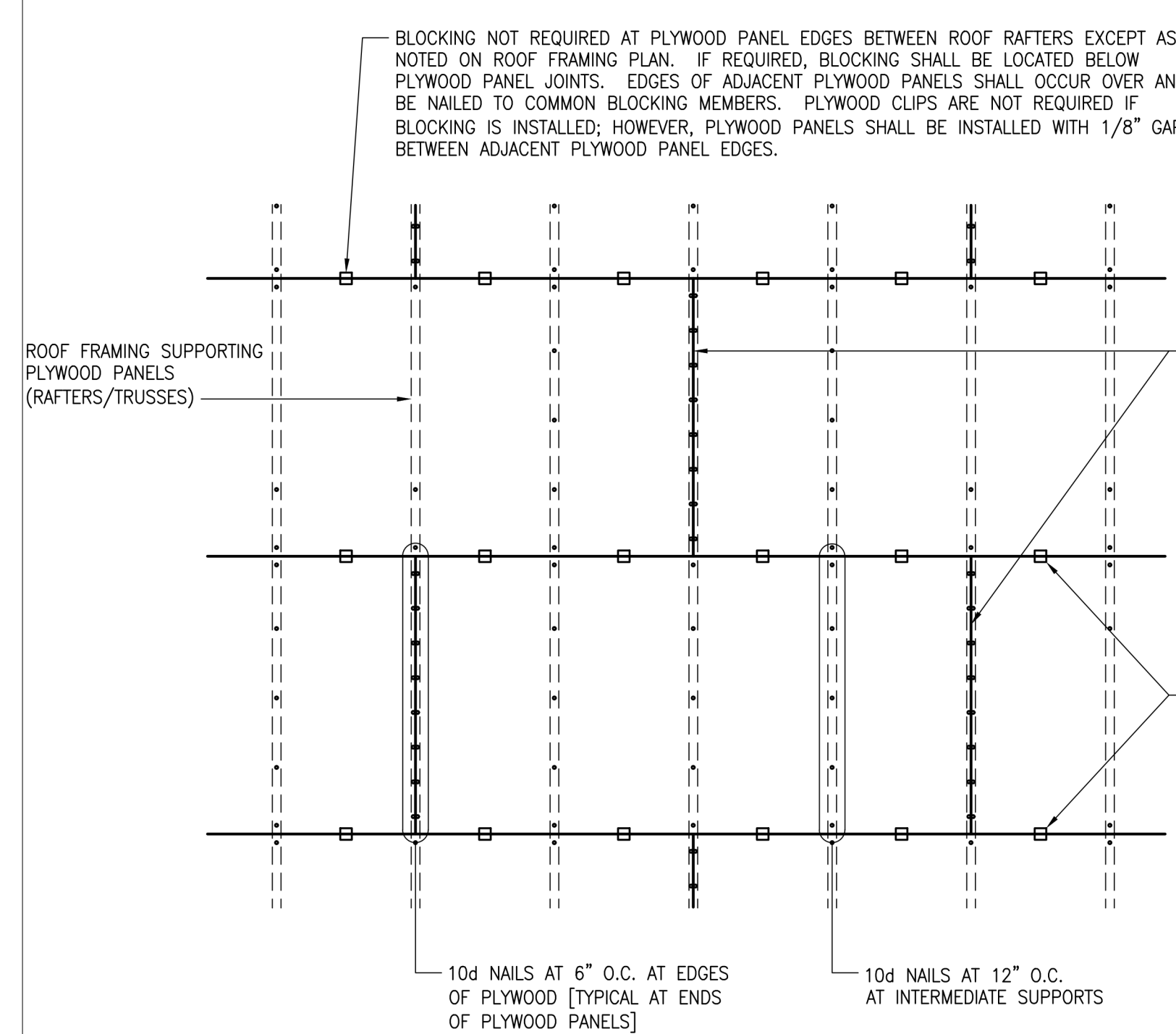
DETAIL TYP S401  
N.T.S.

TOP PLATE FRAMING TO ACCOMMODATE PIPING

DETAIL TYP S401  
N.T.S.

COLUMN FOOTING

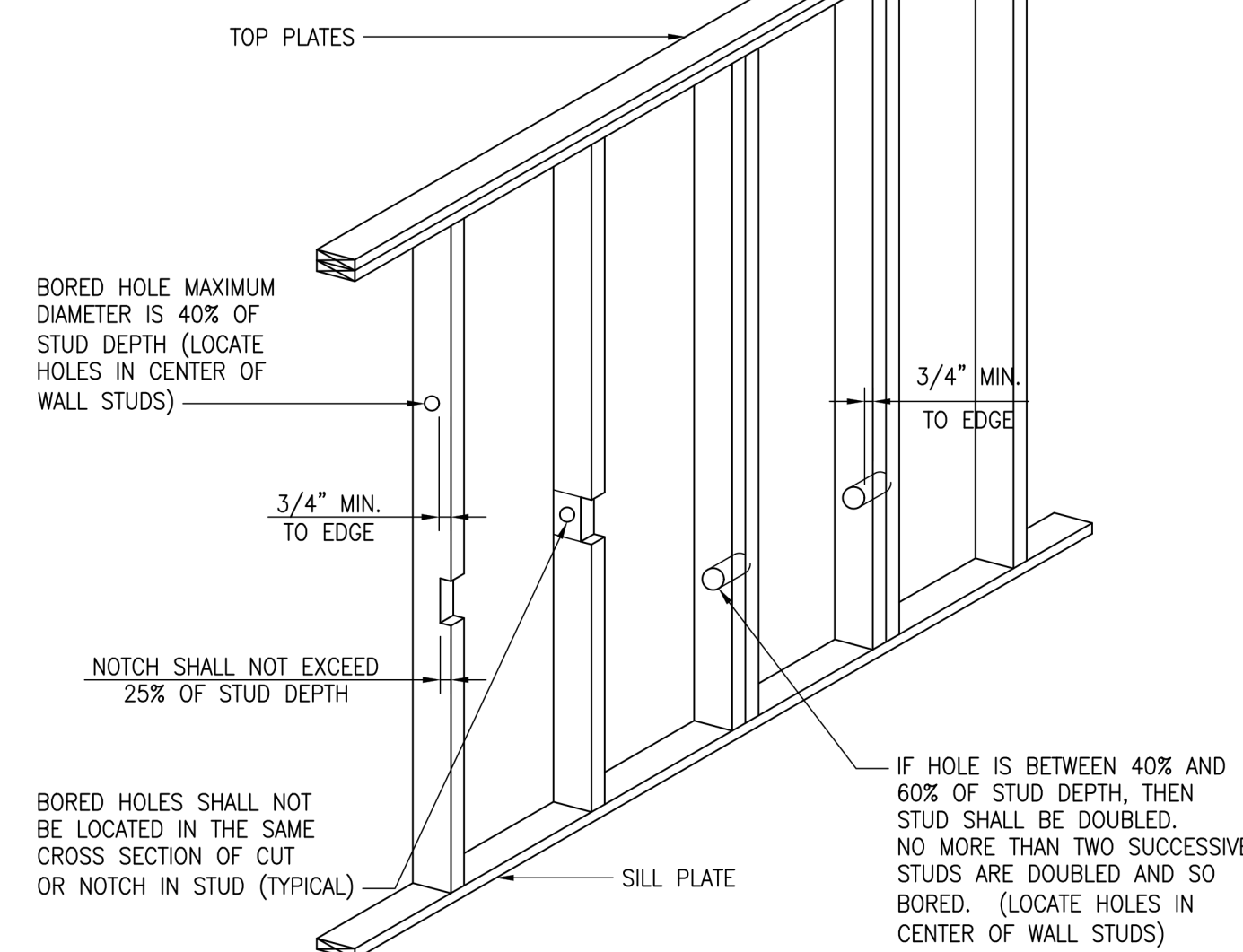
DETAIL TYP S3.01  
N.T.S.



ROOF SHEATHING ATTACHMENT PATTERN

DETAIL TYP S400  
N.T.S.

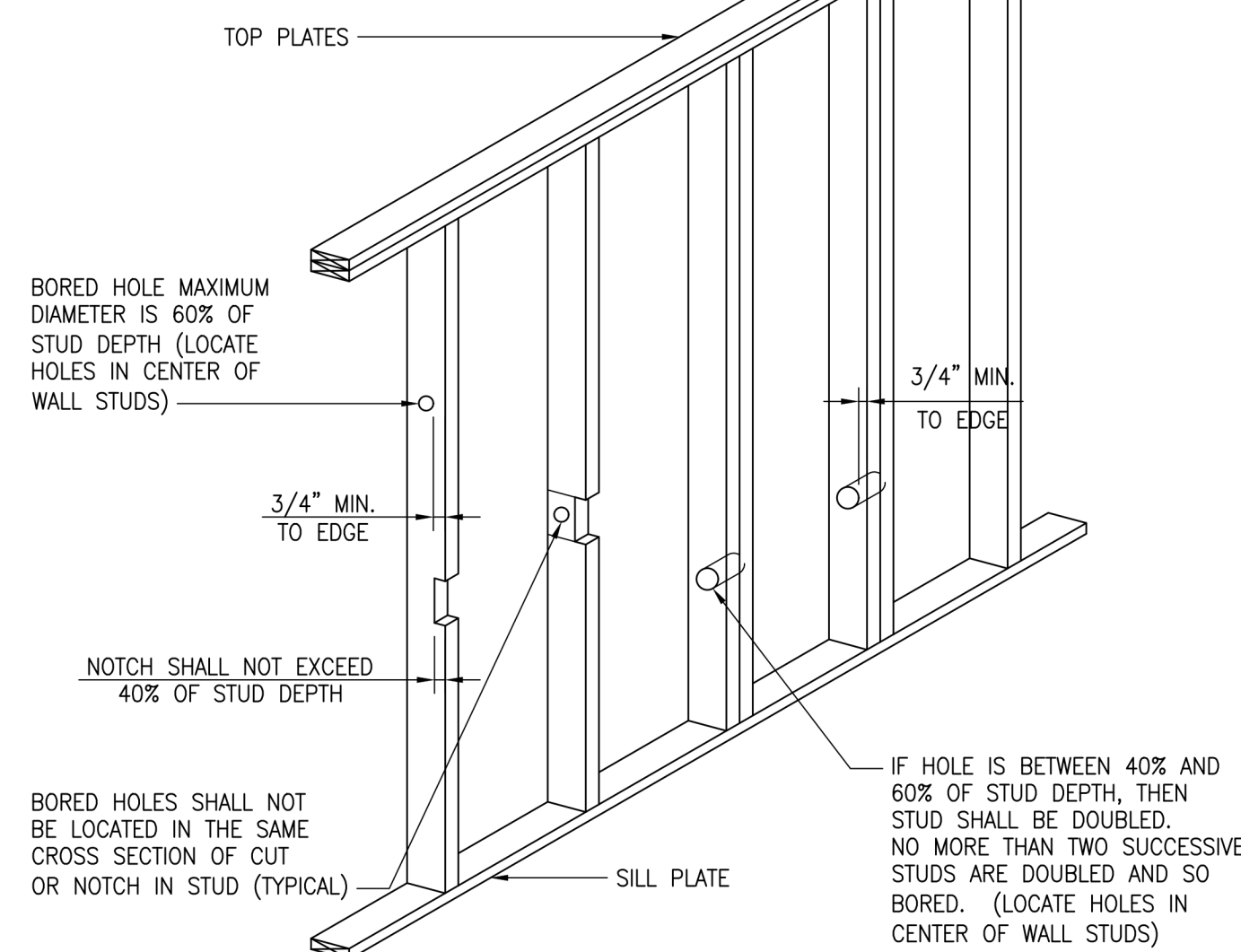
NOTES:  
1. NOTCHES IN WALL STUDS SHALL NOT BE LOCATED IN MIDDLE THIRD OF STUD HEIGHT. IN ADDITION, NOTCHES SHALL NOT BE LOCATED WITHIN 18\"/>



NOTCHING AND BORED HOLES IN EXTERIOR AND/OR BEARING WALLS

DETAIL TYP S400  
N.T.S.

NOTES:  
1. NOTCHES IN WALL STUDS SHALL NOT BE LOCATED IN MIDDLE THIRD OF STUD HEIGHT. IN ADDITION, NOTCHES SHALL NOT BE LOCATED WITHIN 18\"/>



NOTCHING AND BORED HOLES IN INTERIOR NONBEARING WALLS

DETAIL TYP S400  
N.T.S.

**THE JETT STREET RESIDENCES**

746 JETT STREET  
ATLANTA, GA 30318

ISSUANCE SCHEDULE  
07/13/2022 PERMIT DOCS

REVISION SCHEDULE  
MARK DATE DESCRIPTION

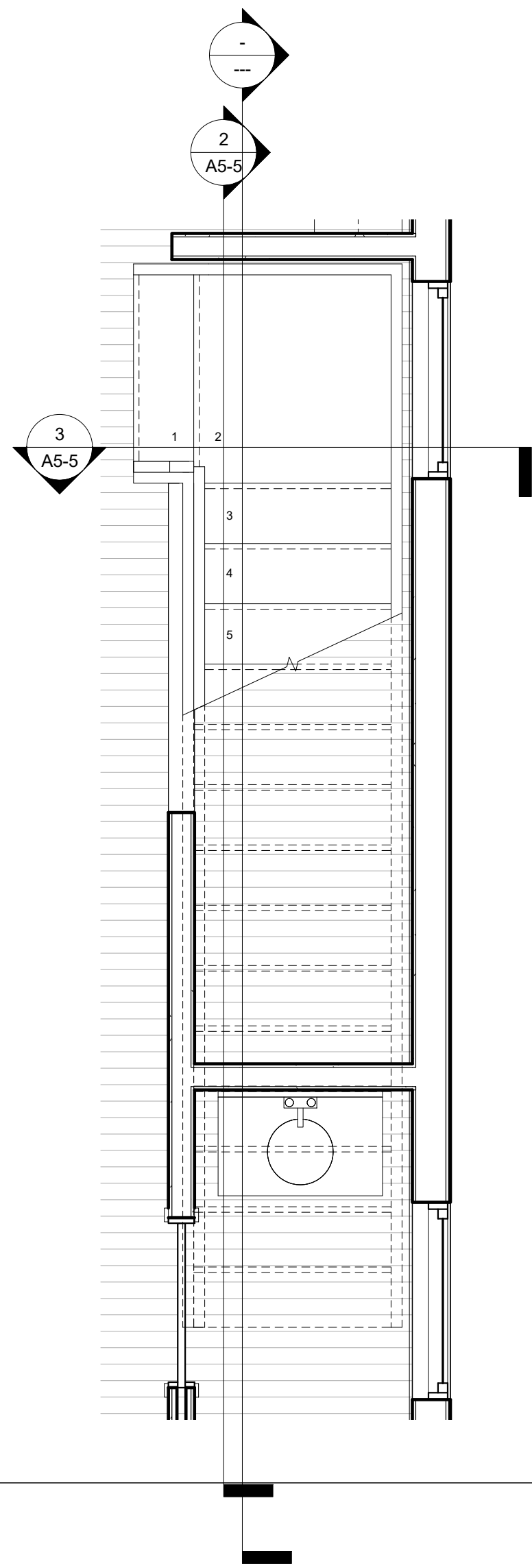
PROJECT ID 001  
SHEET TITLE

Stair Sections

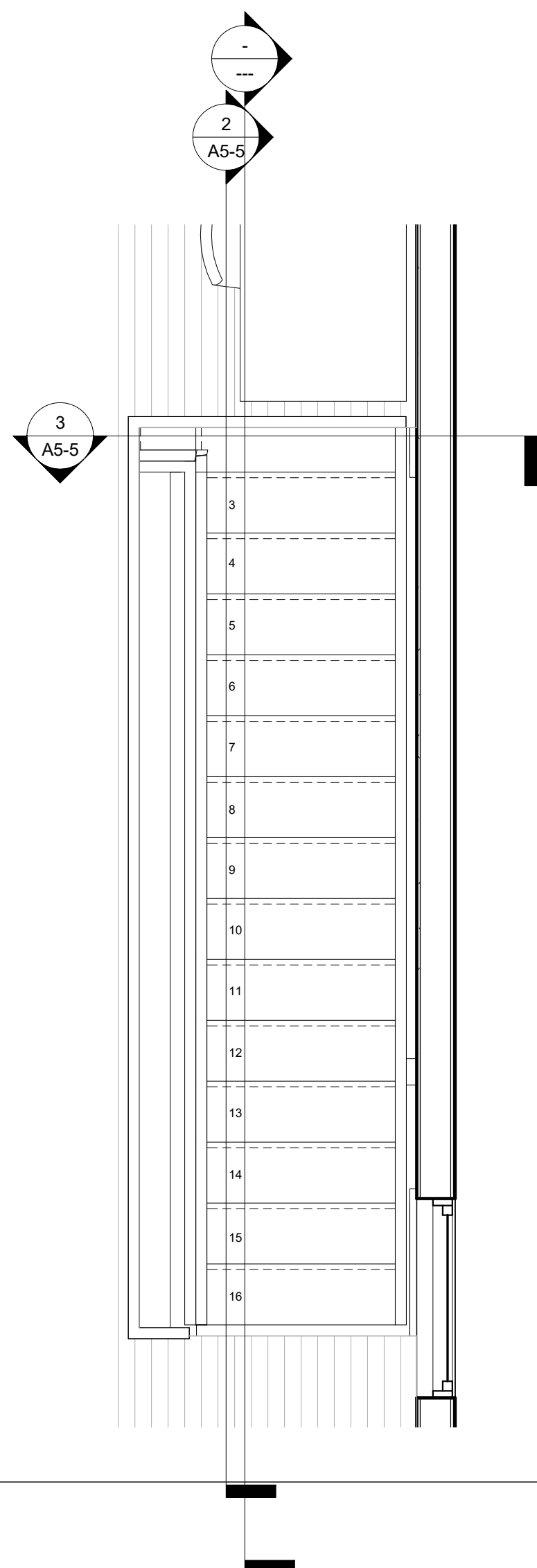
SHEET NUMBER

**A5-5**

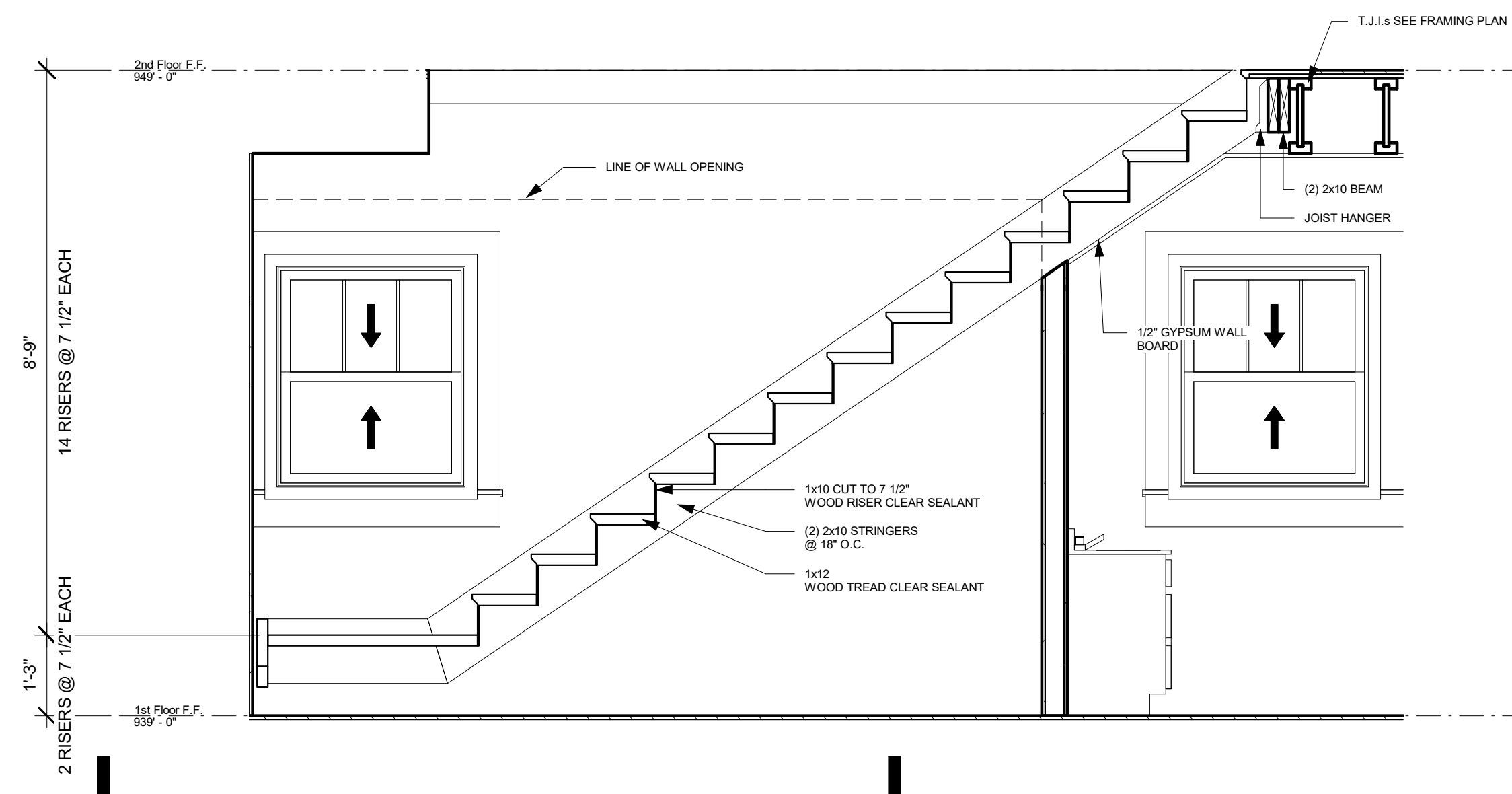
ISSUED FOR PERMIT



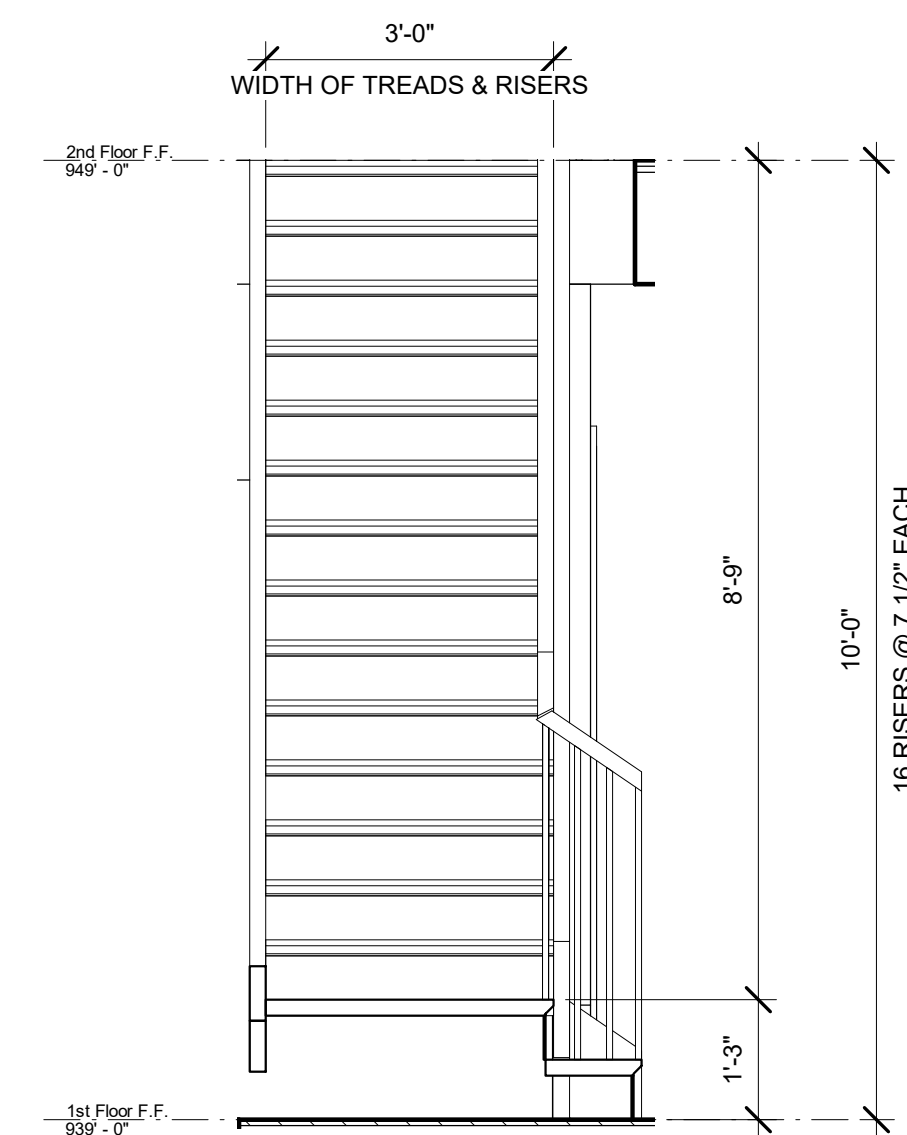
1 Stair Detail Plan - 1st Floor  
1/2" = 1'-0"



4 Stair Detail Plan - 2nd Floor  
1/2" = 1'-0"



2 Stair Detail Section 1  
1/2" = 1'-0"



3 Stair Detail Section 2  
1/2" = 1'-0"